

FINDINGS AND RECOMMENDED SPECIAL CONDITIONS

"S" ZONE APPROVAL NO. SZ2005-12

Phung Nguyen and Trang Tran Residence
1000 Piedmont Road (APN 88-44-099)

Planning Commission Recommended Approval: May 10, 2006

FINDINGS

1. The project complies with the relevant sections of the City's General Plan and Zoning Ordinance.
2. The proposed residence is of an attractive design using appropriate colors and materials that complement the surrounding neighborhood and Hillside area.
3. The project is Categorically Exempt from the requirements of the California Environmental Quality Act (*CEQA*) inasmuch as it meets the definition of Class 3 Exemption (*i.e. new construction of small structures—specifically, construction of up to three single-family residences in urbanized areas*).

SPECIAL CONDITIONS

1. This approval is for the development of a 5,994 square foot single-family residence, detached second family unit, and various landscape amenities as shown on approved plans dated May 10, 2006 and as modified by these conditions of approval. Any modification shall be submitted pursuant to Section 42 for Planning Commission review and approval. (P)
2. Applicant shall incorporate additional trees and landscaping along the southern edge and northern portion of parcel to the approval of the Planning Director. (PC)
3. Prior to any tree removal, the applicant shall obtain a tree removal permit from the City Parks and Facilities Department. (P) (PW)
4. Prior to any demolition or grading permit issuance, the applicant shall submit to the Planning Division a tree protection plan prepared by an arborist, addressing protective measures for the existing trees to be retained on the developed site. (P) (PW)
5. Prior to any demolition or grading permit issuance, the applicant shall obtain tree removal permits as required. (P) (PW)
6. Applicant shall screen all ground utilities (backflow preventers) and necessary fire equipment (as per Fire Department Standards). (P)
7. The building height shall not exceed 17 feet for the residence and any accessory structures and buildings as measured from the lowest finished grade to the highest ridgeline of the building, per the City of Milpitas Hillside Ordinance. (P)
8. Impervious surface area shall not exceed 10% of the lot area or a maximum of 8,000 square feet, per the City of Milpitas Hillside Ordinance. (P)
9. Prior to building permit issuance, the applicant shall include calculations with the building permit plans that demonstrate the openwork type fence provides the required 75% transparency. (P)

10. No structures of human occupancy should be constructed within 50 feet of the Crosley Fault and within 75 feet of the Landslide Toe. Construction drawings shall clearly show the Crosley Fault setback and the Landslide setback. (P)
11. The applicant shall comply with the findings and recommendations prepared by Billy Lin and Associates, contained in the geotechnical reports, dated September 11, 2005 and the addendum prepared by GEI dated February 13, 2006 to ensure compliance with this mitigation. The applicant shall also submit a letter from a licensed geotechnical engineer at Billy Lin and Associates certifying that all of their recommendations have been incorporated into the submitted building or grading plans prior to issuance of any grading or building permit. Additionally, prior to obtaining a final, a certificate of occupancy, or any occupancy for the building, the applicant shall submit a letter from a licensed geotechnical engineer at Billy Lin and Associates certifying that all of their recommendations have been satisfied. (P) (E) (B)
12. The applicant shall submit a grading plan to the Planning staff showing that the overall height, grade, cut and fill slopes are developed in conformance with the recommendations from the Geological and Geotechnical Report dated September 11, 2005 and the addendum dated February 13, 2003. (P)
13. The applicant shall record with the Santa Clara County Records office a hold harmless agreement with the deed for the property disclosing that the site is located within an ancient landslide area, which may have higher than normal potential landslides. This agreement would hold harmless the City from future landslides resulting from development of a site within an ancient landslide area. The City Attorney shall draft said agreement. (P)
14. The applicant shall submit an erosion control plan to the approval of the Planning Division. Erosion control measures shall be in place prior to the start of any work and maintained until the completion of construction. (P)
15. During all construction activities on-site, the project applicant/developer shall adhere to the following Best Management Practices as suggested by BAAQMD:
 - a. Watering all active construction areas twice daily and more often during windy periods. Active areas adjacent to existing land uses shall be kept damp at all times, or shall be treated with non-toxic stabilizers or dust palliatives.
 - b. Cover all trucks hauling soil, sand, and other loose material or require all truck to maintain at least 2 feet freeboard level within their truck beds.
 - c. Pave, apply water three times daily or apply non-toxic soil stabilizers on all unpaved access roads, parking areas, and staging areas at the construction site. (P)
16. Prior to certificate of occupancy all landscaping shall be installed. (P)
17. The applicant shall clarify on the building permit plans that pervious concrete is to be used for the construction of the driveway and walkways. (P)
18. If at the time of application for permit there is a project job account past due balance to the City for recovery of review fees, review of permit will not be initiated until the balance is paid in full. (P)
19. Public easement should be clearly marked. There should be no private plantings or irrigation around public tree plantings. (PW)
20. The issuance of building permits to implement this land use development will be suspended if necessary to stay within (1) available water supplies, or (2) the safe or allocated capacity at the San Jose/Santa Clara Water Pollution Control Plant, and will remain suspended until water and sewage capacity are available. No vested right to the issuance of a Building Permit is acquired by the approval of this land development. The foregoing provisions are a material (demand/supply) condition to this approval. (E)
21. Prior to issuance of any building permits, developer shall obtain approval from the City Engineer of the water, sewer and storm drain studies for this development. These studies shall

- identify the development's effect on the City's present Master Plans and the impact of this development on the trunk lines. If the results of the study indicate that this development contributes to the over-capacity of the trunk line, it is anticipated that the developer will be required to mitigate the overflow or shortage by construction of a parallel line or pay a mitigation charge, if acceptable to the City Engineer. (E)
22. At the time of building permit plan check submittal the developer shall submit a grading plan and a drainage study prepared by a registered Civil Engineer. The drainage study shall include offsite tributary drainage areas currently draining to this site via existing cul-de-sac and analyze the existing and ultimate conditions and facilities. The subject study shall recommend adequate drainage facilities to properly accept and convey drainage flows. The study shall be reviewed and approved by the City Engineer and the developer shall satisfy the conclusions and recommendations of the approved drainage study prior to building permit issuance. (E)
 23. Prior to building permit issuance, the developer shall obtain design approval and bond for all necessary public improvements along Piedmont Road including but not limited to new curb and gutter, pavement, street lights, fire hydrants, water and sewer main line extension to serve the development, storm drain, sewer and water services. Plans for all public improvements shall be prepared on Mylar (24"x36" sheets) with City Standard Title Block and submit a digital format of the Record Drawings (AutoCAD format is preferred) upon completion of improvements. The developer shall also execute a secured public improvement agreement. The agreement shall be secured for an amount of 100% of the engineer's estimate of the construction cost for faithful performance and 100% of the engineer's estimate of the construction cost for labor & materials. (E)
 24. Prior to building permit issuance, developer must pay all applicable development fees, including but not limited to, water, sewer, and storm drain connection fees, plan check and inspection deposit. These fees are collected as part of the secured public improvement agreement. (E)
 25. Prior to any building permit issuance developer shall dedicate necessary public service utility easements, as shown on the Engineering Services "S" dated 3/9/2006. (E)
 26. All existing on-site public utilities shall be protected in place and if necessary relocated as approved by the City Engineer. No permanent structure is permitted within City easements and no trees or deep-rooted shrub are permitted within City utility easements, where the easement is located within landscape areas. (E)
 27. The U.S. Environmental Protection Agency (EPA) has empowered the San Francisco Bay Regional Water Quality Control Board (RWQCB) to administer the National Pollution Elimination Discharge System (NPDES) permit. The NPDES permit requires all dischargers to eliminate as much as possible pollutants entering our receiving waters. Construction activities which disturb 1 acres or greater are viewed as a source of pollution, and the RWQCB requires a Notice of Intent (NOI) be filed, along with obtaining an NPDES Construction Permit prior to the start of construction. A Storm Water Pollution Prevention Plan (SWPPP) and a site monitoring plan must also be developed by the applicant, and approved by the City prior to permit issuance for site clearance or grading. Contact the RWQCB for questions regarding your specific requirements at (800) 794-2482. For general information, contact the City of Milpitas at (408) 586-3329. (E)
 28. The developer shall not obstruct the noted sight distance areas as indicated on the City standard drawing #405. Overall cumulative height of the grading, landscaping & signs as determined by sight distance shall not exceed 2 feet when measured from street elevation. (E)
 29. The developer shall submit the following items with the building permit application and pay the related fees prior to building permit issuance:

- A) Storm water connection fee of **\$3594**, water connection fee of **\$1910**, sewer connection fee of **\$1908** and wastewater treatment plant fee of **\$880**.
 - B) Water Service Agreement(s) for water meter(s) and detector check(s).
 - C) Sewer Needs Questionnaire and/or Industrial Waste Questionnaire.
- Contact the Land Development Section of the Engineering Division at (408) 586-3329 to obtain the form(s). (E)
- 30. Prior to any work within public right of way or City easement, the developer shall obtain an encroachment permit from City of Milpitas Engineering Division. (E)
 - 31. It is the responsibility of the developer to obtain any necessary encroachment permits or approvals from affected agencies and private parties, including but limited to the State of California Department of Water Resources (DWR). Copies of these approvals or permits must be submitted to the City of Milpitas Engineering Division. (E)
 - 32. Apply applicable Guidelines for New Developments and Hillside Landscaping Water Conservation Policy (Resolution # 6066). (E)
 - 33. Per Milpitas Municipal Code Chapter 2, Title X (Ord. No. 201), developer may be required to obtain a permit for removal of any existing tree(s). Contact the Street Landscaping Section at (408) 586-2601 to obtain the requirements and forms. (E)
 - 34. The developer shall call Underground Service Alert (U.S.A.) at (800) 642-2444, 48 hrs prior to construction for location of utilities. (E)
 - 35. At the time of building plan check submittal, the developer shall incorporate the changes shown on Engineering Services Exhibit "S"(dated 3/9/2006) in the design plans and submit three sets of civil engineering drawings showing all proposed utilities and public improvements to the Land Development Engineer for plan check. (E)

(P) = Planning Division

(E) = Engineering Department

(B) = Building

(PW) = Public Works

(PC) = Planning Commission

Date: May 10, 2006

Item No.

MILPITAS PLANNING COMMISSION AGENDA REPORT

Category: Public Hearings

Report Prepared by: Cindy Hom

Public Hearing: Yes ☒ No: ☐

Notices Mailed On: 3/31/06

Published On: 3/30/06

Posted On: 3/31/06

TITLE: "S"ZONE APPROVAL NO. SZ 2005-12

Proposal: A request to construct a 5,994 square foot single story residence, detached second family unit, and various landscape amenities including a patio cover, in ground pool, and spa.

Location: 1000 Piedmont Road (APN 88-44-099)

RECOMMENDATION: Approve with conditions to City Council

Applicant: John Ha, 510 Lawrence Expressway, Sunnyvale, CA 94085

Property Owner: Phung Nguyen and Trang Tran, 1671 Canyon View Dr. San Jose, CA 95132

Previous Action(s): Tentative Map Approval

Environmental Info: Categorically Exempt pursuant to section 15403 of the California Environmental Quality Act.

General Plan Designation: "Hillside – Very Low Density"

Present Zoning: Single Family Residential-Hillside" ("R1-H")

Existing Land Use: Vacant

Agenda Sent To: Applicant/property owner

Attachments: Plans, Memo dated 4/24/06 from Milpitas Fire Department

PJ #: 3197

BACKGROUND

This item was continued to the May 10, 2006 Planning Commission meeting to address issues raised by during the Public Hearing on April 12, 2006 for the project.

A detailed staff report dated April 12, 2006 was provided to the Planning Commission and reviewed during its April 12th meeting. This application was submitted pursuant to Section 45 (Hillside Combining District) and Section 42 (Site and Architectural Review), of the Milpitas Zoning Ordinance for the construction of a new 5,994 square foot contemporary ranch style

single story residence, a 809 square foot detached second family unit, and other various site and landscape amenities including an attached patio cover, in ground pool and spa, retaining wall, openwork iron fence and 43 new trees on a 1.68-acre triangular shaped parcel located on the northeast quadrant of the intersection at Piedmont Road and Landess Avenue. An aerial photo of the subject site is provided below:



The project was reviewed for conformance with the General Plan and Zoning Ordinance. As indicated in the staff report dated April 12, 2006, the project is consistent with the General Plan and complies with the Zoning Ordinance requirements for development in the hillside. The project encourages a housing type that meets the needs of individuals and families. As proposed, the project utilizes colors and materials that blend with the environment and preserves views of the hillside. The project also complies with the development standards for the R1-H (Single Family- Hillside) Zone and is demonstrated in the Table 1 on the proceeding page:

TABLE 1

HILLSIDE ZONING STANDARDS & REQUIREMENTS			
	REQUIRED	PROPOSED	COMPLIES
BUILDING HEIGHT			
17 WEST OF CRESTLINE	17'	17"	✓
27' EAST OF CRESTLINE	n/a	n/a	
SETBACKS			
FRONT	25' If avg. slopes is < 16%; otherwise 40' is required	25	✓
SIDE	40'	40'	
REAR	40'		
SIZE OF MAIN RESIDENCE	6,000 sq. ft. maximum	5,994 sq. ft.	✓
IMPERVIOUS SURFACES	10% of total lot area or 8,000 SQ. FT.	7, 998 sq. ft.	✓
CRESTLINE ZONE OF PROTECTION (CZP)	No structure shall visually intrude into the CZP. Land within the CZP shall remain in a natural condition and structures, grading and non-native plant material are prohibited.	No structure in the CZP. Located approximately 6,000 away from the CZP.	✓
LOT AREA	None specified. The avg. land area/dwelling is based on the Slope Density Equation. The General Plan requires a density of 1 unit/10gross acres. However, lots that were created prior to the effective date the Hillside Ordinance was codified are exempt.	Not applicable. Lot is exempted per Section 45.03-7	✓

ISSUES

Planning Commission directed staff to respond to the Planning Commissioners' questions and issues raised by Steve Bunnell. The following responses are outlined below:

Q: Is a retaining wall or fence being proposed along Piedmont Road street frontage?

A: A 5' openwork iron fence is proposed along Piedmont Road. A detail of the fence is provided on sheet A-3.2 of the plans forwarded to the Planning Commission on April 7, 2006.

Q: Does watering of construction areas twice daily include Piedmont Road and has the project taken account construction traffic impacts?

A: COA #13 is a standard condition of approval for projects that involve construction activities and is limited to the project site. As shown in erosion control plan, sheet C-6, fiber rolls shall be installed around the perimeter of the site to prevent erosion and runoff from spilling onto public right-of-ways and receiving storm drain facilities. The erosion control plan also shows a designated area for construction entrance and a concrete wash out area. Therefore, mud will not be tracked offsite. Any stock piling of topsoil shall be done in conformance with the standard guidelines for stormwater and urban runoff pollution prevention. Therefore any potential runoff or erosion onto Piedmont is mitigated and less than significant.

In review of the project, staff did not anticipate any traffic impacts on Piedmont Road because the site is large enough to accommodate construction and construction staging onsite. Currently, no on-street parking is allowed on Piedmont Road and the posted speed limit is 35mph.

Q: Is there a state law that restricts speed limits in construction zones or areas?

A: The City Attorney's Office found nothing in the California Codes *requiring* that a speed limit be reduced in a construction area, but there is certainly authority for a local agency to enforce stricter speed limits than those posted when entering a construction area or zone in the City.

The City Attorney's review of the Vehicle code indicated that the City does have the authority to authorize and enforce stricter speed limits within the City when there is any kind of construction activity. Per Section 21100(f) of the Vehicle Code, local authorities may adopt rules and regulations by ordinance or resolution that regulates traffic movement through construction areas. Furthermore, section 22362 of the Code makes it a violation of law to disobey posted signs identifying restricted areas and reducing the applicable speed limit. Under the statute, local agencies are indirectly granted authority to reduce the speed limit to as little as 25 mph in areas where employees or contractors of the agency are working.

Also, under section 42009, fines for violations in marked construction zones increase.

Q: Are there any permanent structures proposed over utilities line and over the new utility connection to city services.

A: No permanent structures are proposed over utility lines and facilities for water, sewer, and stormwater. As per COA # 23 and COA #24, the applicant must dedicate necessary public service utility easements. All onsite public utilities shall be protected in place and if necessary relocated to the approval of the City Engineer. COA #24, also further states no permanent structures shall be permitted within City easements to allow for access to facilities for maintenance and repair.

Q: Did the project consider the advantages of solar energy design?

A: The project proposal does not propose the use of solar energy designs.

Q: What does City intend to do about the abandon road and cul-de-sac?

A: Currently Old Piedmont Road and cul-de-sac has not been formally abandoned or considered for vacation. Since the realignment of Piedmont road, the cul-de-sac has not been maintained. In the past, numerous complaints were received for nuisances including illegal dumping, graffiti, and the gathering of people. To alleviate this problem, the city coordinated with the San Jose Fire Department and installed a gate to prohibit general public access to area. San Jose Fire Department was provided a key to unlock the gate and utilize the cul-de-sac for fire turn around. Currently, Public Works is looking into matter for the maintenance of Old Piedmont Road and cul-de-sac and will provide Planning Commission with an update. Old Piedmont Road and cul-de-sac is city owned facility, it should be considered as a separate issue that is not part of the review for this application.

Q: Are the proposed trees fire resistant?

A: Proposed trees are consistent City Council Resolution 6066 in terms of plant species and spacing. Landscaping includes drought tolerant species and does not mix ground cover and shrubs directly beneath tree canopies. Proposed landscaping are arranged in clusters and spaced apart to provide adequate access to routinely remove dead wood and planted an acceptable distance away from combustible structures.

Questions from Steve Bunnell

Q: Did Shapell ever intend to building on this site since they assigned lot numbers to the parcel? If so did the former City Council decisions or the Planning Division deny building on this lot for any reason? Also another owner possessed the land before the current owners. Did the former owner ever try to develop the property?

A: The Final Map and review of the planning files and Planning Commission minutes showed no evidence of any restrictions of development on this lot. The reasons why previous owners never developed this site are unknown and not relevant to the project currently under review. This parcel is a legal lot of record and can be develop pursuant to the Milpitas Zoning Ordinance.

Q: The Association of Bay Area Governments (ABAG) GIS Earthquake Fault Zone Map shows the Hayward Fault to be right in the center of the property. I understand that the City of Milpitas did a site study from the mid 1980s for their survey. Their survey showed the Hayward Fault around 850 feet east of the property and the Crosley Fault nearby. The ABAG site has a disclaimer that reads Fault information in these digital files is not sufficient to serve as a substitute for the geological but I would appreciate a more up to date seismic study of this property.

A: As required by the Milpitas Zoning Ordinance and General Plan, a geological and geotechnical study was conducted in June and July of 2005 and provides a current seismic study of this property. The scope of the geological and geotechnical investigation prepared by Billy Lin and Associates included:

- a. Review available published and unpublished geological, seismic, and geotechnical information on file with the U.S. Geological Survey, The California Geological Survey as well as other reports as recent as 2005.

- b. Perform site reconnaissance and geologic mapping
- c. Perform surface exploration to detect possible presence of fault traces within and around the proposed building envelope.
- d. Perform subsurface exploration to evaluate the subsurface geotechnical conditions at the project site
- e. Perform laboratory testing appropriate to the investigation
- f. Perform engineering analysis, including slope stability analysis, and evaluate the resulting field data.

The project site is located within the State of California Special Study Zone, which is an official map prepared by the California Division of Mines and Geology. As noted in the Geological and Geotechnical Report as well as the staff report, the Hayward Fault is mapped approximately 2,800 feet northeast of the project site. Two fault traces associated with the Hayward fault is the Crosley and Berryessa Faults. The Crosley Fault is located close to and along the northeastern property boundary and the Berryessa Fault is mapped approximately 900 feet northeast of the site.

Q: When review the plans last Friday I was told that the land was not in a slide area. Staff said that slippage in the hillside was missing the property and I believe arching just north of the property. I can't understand why this lot would be the only one in the area not on the move. The Lee's Orchard develop to the north has had hillside slippage problems for years as have the San Jose land to the South. I took a picture for you to review of the court just above the property. The picture clearly shows slippage heading directly through the property. One other major problem that happened near the area was the replacement of a 300ft. huge water transmission main that was in danger of failure due to hillside slippage.

A: As noted in the Geological and Geotechnical report dated September 11, 2005 and April 12, 2006 staff report, the property is within proximity of the Berryessa Creek Landslide Complex which includes the Northern Young Landslide which is located approximately 250 feet north from the northern end of the project site and slips to the northwest, away from the site. The Adjacent Hillside Landslide is located to the east and slips to the west. The Old Piedmont Road Landslide is located to the south and moves southwesterly, away from the project site.

Regarding the visible "cracking" on the surface of the cul-de-sac is not caused by differential settlement of the underlying soils or by the Crosley Fault thrust movement. Exploratory borings show that the pavement is supported on moderately compacted structural fill to a depth of about 4 feet, followed by very stiff to hard silty clay soils. The minor and moderate cracks observed on Piedmont Road next to the northwest end of the property appear to be the result of one or more following causes: 1) the settlement of fill underlying this portion of the street and 2) slow rate of movement of the adjacent deep-seated complex landslide that moves to the west.

The report further indicated that no active slide is observed within the project site. As conditioned no habitable structures shall be located within 50 feet from the Crosley Fault and 75 feet from the Landslide Toe. The construction of home must also comply with the recommendations and design considerations specified in the Geological and Geotechnical as

well as the recommendations made from GEI who conducted the peer review of the report for the City.

Q: The court I mentioned is located at one corner of the property. During the title search I noticed that the City of Milpitas ownership and an easement to part of the court. I want to be sure the City of Milpitas does not ever release the easement. The court is critical for Fire Engines to be able to turn around on Old Piedmont Rd. I understand that the City of San Jose owns Old Piedmont but as a good neighbor and for safety reason the court should always remain in tact. Also the City should retain utility easement right on our abandon section of Old Piedmont to the east of the property.

A: As previously stated, Old Piedmont Road and cul-de-sac has not been formally abandon or vacated. At this time, the city has no plans to vacate and continues to retain the easements for public service utilities.

Q: I snapped a picture of the lot showing just how high the lot sits in relation to the curb along Piedmont Road. The lot is at least five feet higher than the curb. With a 17ft. high home it will stand just as high as the two-story home. I understand that all home built along the scenic corridor must be single story but with the height of the lot it will be seen like a two-story home.

A: As proposed, the single story home is situated on the relative flat part of the parcel which not only minimizes grading but also preserves the vista of the hillside. The proposed home complies with the required 17feet height limitation. The home will not appear like a two story home because there is no second floor nor does the proposed home propose any steep rooflines or architectural feature that would give an appearance of a second story.

Q: The plan only calls for one Fire Hydrant installed. The nearest Fire Hydrant is 1000 feet north of hydrant that is to be installed. Staff informed me that the 300 feet is recommended for hydrant spacing. If this project gets approved I would put into the stipulation that the homebuilder install two hydrants along their property front and use the utility easement to install one on the court above.

A: Per the Milpitas Municipal Code V-300-2.1.24, any dwelling located more than 500 feet from a hydrant is considered to be without adequate piped water supply for fire protection. Under the noted Municipal Code Section, a minimum of 200 gallons per minute for 20 minutes is required. As a conditioned, the applicant is required to install one new public fire hydrant which provides estimated 1,500 gallons per minute to as much as 3,000 gallons per minute which exceeds the minimum 200 gallon per minute that is required. Considering no access will be taken from the cul-de-sac and the home has a fire sprinkler system, an additional hydrant on the court and a second hydrant along Piedmont Road above would be unnecessary.

RECOMMENDATION

Recommend approval to the City Council based on the findings and subject to the conditions listed below.

FINDINGS

1. The project complies with the relevant sections of the City's General Plan and Zoning Ordinance.
2. The proposed residence is of an attractive design using appropriate colors and materials that complement the surrounding neighborhood and Hillside area.
3. The project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) inasmuch as it meets the definition of Class 3 Exemption (*i.e. new construction of small structures—specifically, construction of up to three single-family residences in urbanized areas*).

SPECIAL CONDITIONS

1. This approval is for the development of a 5,994 square foot single-family residence, detached second family unit, and various landscape amenities as shown on approved plans dated April 12, 2006 and as modified by these conditions of approval. Any modification shall be submitted pursuant to Section 42 for Planning Commission review and approval. (P)
2. Prior to any tree removal, the applicant shall obtain a tree removal permit from the City Parks and Facilities Department. (P) (PW)
3. Prior to any demolition or grading permit issuance, the applicant shall submit to the Planning Division a tree protection plan prepared by an arborist, addressing protective measures for the existing trees to be retained on the developed site. (P) (PW)
4. Prior to any demolition or grading permit issuance, the applicant shall obtain tree removal permits as required. (P) (PW)
5. Applicant shall screen all ground utilities (backflow preventers) and necessary fire equipment (as per Fire Department Standards). (P)
6. The building height shall not exceed 17 feet for the residence and any accessory structures and buildings as measured from the lowest finished grade to the highest ridgeline of the building, per the City of Milpitas Hillside Ordinance. (P)
7. Impervious surface area shall not exceed 10% of the lot area or a maximum of 8,000 square feet, per the City of Milpitas Hillside Ordinance. (P)
8. Prior to building permit issuance, the applicant shall include calculations with the building permit plans that demonstrate the openwork type fence provides the required 75% transparency. (P)
9. No structures of human occupancy should be constructed within 50 feet of the Crosley Fault and within 75 feet of the Landslide Toe. Construction drawings shall clearly show the Crosley Fault setback and the Landslide setback. (P)
10. The applicant shall comply with the findings and recommendations prepared by Billy Lin and Associates, contained in the geotechnical reports, dated September 11, 2005 and the addendum prepared by GEI dated February 13, 2006 to ensure compliance with this mitigation. The applicant shall also submit a letter from a licensed geotechnical engineer at Billy Lin and Associates certifying that all of their recommendations have been incorporated into the submitted building or grading plans prior to issuance of any grading or building

permit. Additionally, prior to obtaining a final, a certificate of occupancy, or any occupancy for the building, the applicant shall submit a letter from a licensed geotechnical engineer at Billy Lin and Associates certifying that all of their recommendations have been satisfied. (P) (E) (B)

11. The applicant shall submit a grading plan to the Planning staff showing that the overall height, grade, cut and fill slopes are developed in conformance with the recommendations from the Geological and Geotechnical Report dated September 11, 2005 and the addendum dated February 13, 2003. (P)
12. The applicant shall record with the Santa Clara County Recorders office a hold harmless agreement with the deed for the property disclosing that the site is located within an ancient landslide area, which may have higher than normal potential landslides. This agreement would hold harmless the City from future landslides resulting from development of a site within an ancient landslide area. The City Attorney shall draft said agreement. (P)
13. The applicant shall submit an erosion control plan to the approval of the Planning Division. Erosion control measures shall be in place prior to the start of any work and maintained until the completion of construction. (P)
14. During all construction activities on-site, the project applicant/developer shall adhere to the following Best Management Practices as suggested by BAAQMD:
 - a. Watering all active construction areas twice daily and more often during windy periods. Active areas adjacent to existing land uses shall be kept damp at all times, or shall be treated with non-toxic stabilizers or dust palliatives.
 - b. Cover all trucks hauling soil, sand, and other loose material or require all truck to maintain at least 2 feet freeboard level within their truck beds.
 - c. Pave, apply water three times daily or apply non-toxic soil stabilizers on all unpaved access roads, parking areas, and staging areas at the construction site. (P)
15. Prior to certificate of occupancy all landscaping shall be installed. (P)
16. The applicant shall clarify on the building permit plans that pervious concrete is to be used for the construction of the driveway and walkways. (P)
17. If at the time of application for permit there is a project job account past due balance to the City for recovery of review fees, review of permit will not be initiated until the balance is paid in full. (P)
18. Public easement should be clearly marked. There should be no private plantings or irrigation around public tree plantings. (PW)
19. The issuance of building permits to implement this land use development will be suspended if necessary to stay within (1) available water supplies, or (2) the safe or allocated capacity at the San Jose/Santa Clara Water Pollution Control Plant, and will remain suspended until water and sewage capacity are available. No vested right to the issuance of a Building Permit is acquired by the approval of this land development. The foregoing provisions are a material (demand/supply) condition to this approval. (E)

20. Prior to issuance of any building permits, developer shall obtain approval from the City Engineer of the water, sewer and storm drain studies for this development. These studies shall identify the development's effect on the City's present Master Plans and the impact of this development on the trunk lines. If the results of the study indicate that this development contributes to the over-capacity of the trunk line, it is anticipated that the developer will be required to mitigate the overflow or shortage by construction of a parallel line or pay a mitigation charge, if acceptable to the City Engineer. (E)
21. At the time of building permit plan check submittal the developer shall submit a grading plan and a drainage study prepared by a registered Civil Engineer. The drainage study shall include offsite tributary drainage areas currently draining to this site via existing cul-de-sac and analyze the existing and ultimate conditions and facilities. The subject study shall recommend adequate drainage facilities to properly accept and convey drainage flows. The study shall be reviewed and approved by the City Engineer and the developer shall satisfy the conclusions and recommendations of the approved drainage study prior to building permit issuance. (E)
22. Prior to building permit issuance, the developer shall obtain design approval and bond for all necessary public improvements along Piedmont Road including but not limited to new curb and gutter, pavement, street lights, fire hydrants, water and sewer main line extension to serve the development, storm drain, sewer and water services. Plans for all public improvements shall be prepared on Mylar (24"x36" sheets) with City Standard Title Block and submit a digital format of the Record Drawings (AutoCAD format is preferred) upon completion of improvements. The developer shall also execute a secured public improvement agreement. The agreement shall be secured for an amount of 100% of the engineer's estimate of the construction cost for faithful performance and 100% of the engineer's estimate of the construction cost for labor & materials. (E)
23. Prior to building permit issuance, developer must pay all applicable development fees, including but not limited to, water, sewer, and storm drain connection fees, plan check and inspection deposit. These fees are collected as part of the secured public improvement agreement. (E)
24. Prior to any building permit issuance developer shall dedicate necessary public service utility easements, as shown on the Engineering Services "S" dated 3/9/2006. (E)
25. All existing on-site public utilities shall be protected in place and if necessary relocated as approved by the City Engineer. No permanent structure is permitted within City easements and no trees or deep-rooted shrub are permitted within City utility easements, where the easement is located within landscape areas. (E)
26. The U.S. Environmental Protection Agency (EPA) has empowered the San Francisco Bay Regional Water Quality Control Board (RWQCB) to administer the National Pollution Elimination Discharge System (NPDES) permit. The NPDES permit requires all dischargers to eliminate as much as possible pollutants entering our receiving waters. Construction activities which disturb 1 acres or greater are viewed as a source of pollution, and the RWQCB requires a Notice of Intent (NOI) be filed, along with obtaining an NPDES Construction Permit prior to the start of construction. A Storm Water Pollution Prevention Plan (SWPPP) and a site monitoring plan must also be developed by the applicant, and

**CITY OF MILPITAS
UNAPPROVED**

PLANNING COMMISSION MINUTES

May 10, 2006

**I.
PLEDGE OF
ALLEGIANCE**

Chair Williams called the meeting to order at 7:00 P.M. and led the Pledge of Allegiance.

**II.
ROLL CALL**

Present: Ali-Santosa, Ciardella, Mandal, Tabladillo and Williams
Absent: Azevedo and Galang
Staff: Bejines, Carrington, Pio Roda and Williams

**III.
PUBLIC FORUM**

Chair Williams invited members of the audience to address the Commission on any topic not on the agenda, noting that no response is required from the staff or Commission, but that the Commission may choose to agendize the matter for a future meeting.

Frank De Smidt, Milpitas Rotary Club, announced that the Rotary Club Carnival will be held from May 11th through May 14th at the Great Mall and pre-sale tickets will be available.

**IV.
APPROVAL OF MINUTES
April 26, 2006**

Chair Williams called for approval of the minutes of the Planning Commission meeting of April 26, 2006.

There were no changes to the minutes.

Motion to approve the April 26, 2006 minutes

M/S: Mandal/Ciardella

AYES: 5

NOES: 0

**V.
ANNOUNCEMENTS**

Tom Williams, Planning and Neighborhood Services Director introduced new Associate Planner, Momoko (Momo) Ishijima that joined staff May 2nd from the City of Fremont and is pleased to have her talents at the City of Milpitas. The Commission welcomed Momo.

Mr. Williams also brought to the Commission's attention, a handout regarding the Fourth of July parade celebrating the Red, White and Boom. If the Commission is interested in participating, contact the Recreation Department. He also announced that the May 24th meeting is canceled due to lack of agenda items.

Commissioner Mandal announced that he is concerned about the energy situation in the United States and around the world, and was looking for the permit cost for getting solar energy in different cities and it turns out that Milpitas costs are substantially higher than other areas. He requested that that staff agendize this when meeting with the City Council on June 13th.

**VI.
CONFLICT
OF INTEREST**

Assistant City Attorney Richard Pio Roda asked if the Commission has any conflict of interest on tonight's agenda.

There were no Commissioners that identified a conflict of interest.

**VII.
APPROVAL OF
AGENDA**

Chair Williams called for approval of the agenda.

Staff had no changes.

Motion to approve the agenda.

M/S: Mandal/Ciardella

AYES: 5

NOES: 0

**VIII.
CONSENT CALENDAR
Item Nos. 3 and 4**

Chair Williams asked whether staff, the Commission, or anyone in the audience wished to remove or add any items to the consent calendar.

Staff had no changes to the consent calendar.

Chair Williams opened the public hearing on Consent Item Nos. 3 and 4.

There were no speakers from the audience.

Close the public hearing

Motion to close the public hearing on consent Item Nos. 3 and 4.

M/S: Mandal/Tabladillo

AYES: 5

NOES: 0

Motion to approve the consent calendar on Consent Item Nos. 3 and 4.

M/S: Ciardella/Mandal

AYES: 5

NOES: 0

***3 USE PERMIT NO. UP2006-7:** A request to locate a doublewide sales trailer and associated landscaping and parking along the vacated Capital Avenue at South Abel Street. *(Recommendation: Approve with Conditions)*

***4 USE PERMIT NO. UP2006-10:** A request to locate a double-wide sales trailer and associated landscaping and parking at 1696 South Main Street between the Shell Gasoline Station and Jack-in-the-Box. *(Recommendation: Approve with Conditions)*

IX. PUBLIC HEARING

**1. "S" ZONE APPROVAL
NO. SZ2005-12 *(Continued
from April 12, 2006):***

Cindy Hom, Junior Planner, presented a request to construct a 5,994 square foot single-story residence, detached second unit, and various landscape amenities including a covered patio and in ground pool and spa on an undeveloped parcel located at 1000 Piedmont Road. Ms. Hom recommended approval with conditions to City Council.

Mr. Williams added that staff provided the Commission a color elevation of the project.

Chair Williams thanked staff for doing their research in properly responding to inquiries from the last Planning Commission meeting.

Chair Williams opened the public hearing.

Dave Duarte, 2245 Old Piedmont Road, located just south of the project, said he is concerned that the power poles that go through the project and right in front of his house are leaning 15 degrees and are putting a lot of pressure across the poles. He asked if the City is going to be doing anything about it. He has been working with City of San Jose and PG&E and nothing has been done. He also noted that two or three years ago, the poles actually blew out and caused a small fire.

Mehdi Khaila, Principal Engineer, said that he would work with the resident and bring the attention to PG&E because it is a site and safety issue.

Close the public hearing

Motion to close the public hearing.

M/S: Mandal/Ciardella

AYES: 5

NOES: 0

Commissioner Mandal asked if the new property will be getting their power from the power pole or underground. Ms. Hom said that because they are within the urban service area, part of the conditions of approval requires that the utilities be undergrounded.

Commissioner Mandal asked if the power poles are located in front of the property or in the back and Ms. Hom said that the poles are located behind the property.

Commissioner Ciardella said that he is concerned about the lack of landscaping on the left and right hand side of the property. He also said it looks like there is an easement on the right hand side of the property. Ms. Hom said that there are no easements on the property but within ten foot from the front property line there is a public service utility easement that is reserved for streetscaping and landscaping. From the last meeting, she said that one of the suggestions was to incorporate some additional landscaping from the northwest corner of the site and if the Commission desires, staff can add a condition for the applicant to incorporate some additional landscaping.

Mr. Williams said there is no easement to the southern part of the property line and staff would recommend two or three trees and some additional groundcover to make sure the irrigation extends out there, however he would like to address it with the applicant to make sure they don't have any issues.

John Ha, Architect, stated that they do not mind adding some additional trees and landscaping.

Motion to approve "S" Zone Approval No. SZ2005-12 with special condition to City Council and adding additional landscaping in the southern part of the property.

Commissioner Ciardella said that he would like to see some trees added on the other side of the property.

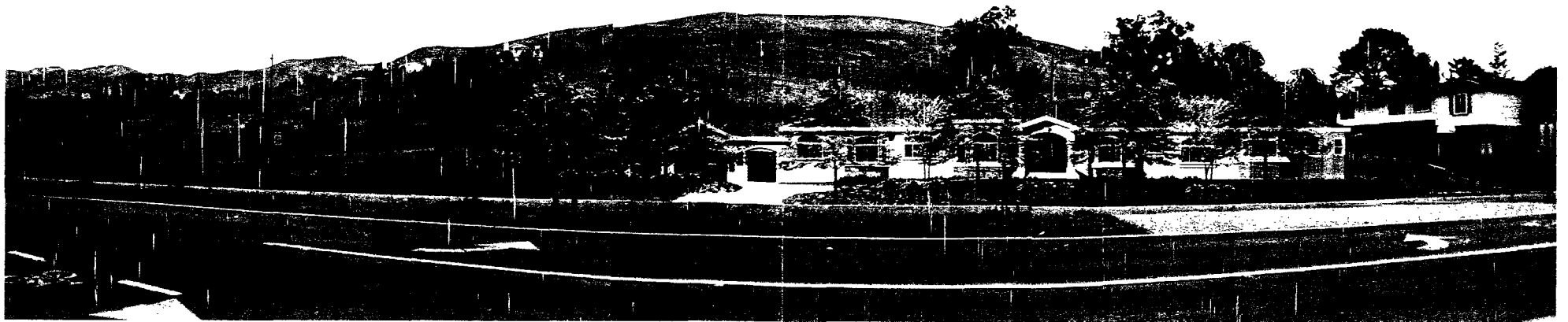
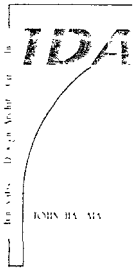
Mr. Williams said that the condition could be revised to the satisfaction of the Planning Director or bring it back to the Planning Commission.

Motion to approve "S" Zone Approval No. SZ2005-12 with special conditions to City Council and adding a special condition to add landscaping to the satisfaction of the Planning Director.

M/S: Mandal/Ciardella

AYES: 5

NOES: 0



INNOVATIVE DESIGN ARCHITECTURE ©

MILPITAS RESIDENCE

PHUNG RESIDENCE

1000 PIEDMONT ROAD
MILPITAS, CALIFORNIA 95035

OWNER:
PHUNG NGUYEN
1671 CANYON VIEW DR.
SAN JOSE, CA 95132
TEL: (408) 926-1625

ARCHITECT:
JOHN HA, AIA
510 LAWRENCE EXPRESSWAY
SUITE #105
SUNNYVALE, CA 94085
TEL: (408) 245-0991
FAX: (408) 245-0319

CIVIL ENGINEER:
SMP COMPANY
1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (408) 472-5062
FAX: (408) 287-8630

SOIL ENGINEER:
**ALLIANCE ENVIRONMENTAL
& SOIL ENGINEERING**
1400 COLEMAN AVE, # C16F
SANTA CLARA, CA 95050
TEL: (408) 970-8685

GENERAL NOTES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES AND NOTIFY THE ARCHITECT PRIOR TO ONE PROPOSAL AND COMMENCING THEIR WORK.

THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.

NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.

THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODE (UBC), UNIFORM MECHANICAL CODE (UMC), NATIONAL ELECTRICAL CODE (NEC), NATIONAL PLUMBING CODE (NPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.

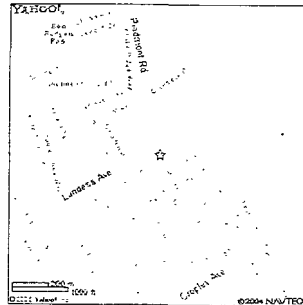
THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISCREPANT ITEMS AND CONDITIONS THAT MAY AFFECT HIS WORK. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.

CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.

ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.

ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.

LOCATION MAP



LOT COVERAGE CALC.

SITE ACRES:	1.68 AC.
SITE AREA:	73,181 SF.
IMPERVIOUS SURFACE AREA:	7,998 SF.
PERCENTAGE OF LOT:	10.93%
MAIN BUILDING AREA:	5,994 SF.
PERCENTAGE OF LOT:	8.19%
2ND FAMILY UNIT:	809 SF.
PERCENTAGE OF LOT:	1.10%
REAR PATIO AREA:	470 SF.
PERCENTAGE OF LOT:	0.64%
ENTRANCE:	180 SF.
PERCENTAGE OF LOT:	0.25%
FUTURE SWIMMING POOL:	545 SF.
PERCENTAGE OF LOT:	0.74%
LANDSCAPE:	65,183 SF.
PERCENTAGE:	89.07%

TABULATION

APN NUMBER:	088-44-099
TOTAL ALLOWABLE FLOOR AREA:	6,000 SF
PROPOSED GARAGE AREA:	1,040 SF
PROPOSED FLOOR AREA:	4,954 SF.
TOTAL FLOOR AREA:	5,994 SF.
TOTAL F.A.R.:	8.19%
PROPOSED HEIGHT:	17'-0"
MAXIMUM HEIGHT ALLOWED:	17'-0"

DRAWING INDEX

ARCHITECTURAL

A0	TITLE SHEET
A1	SITE PLAN
A1.1	IMPERVIOUS SURFACE CALCULATION
A2.1	OVERALL FLOOR PLAN PART 1
A2.2	OVERALL FLOOR PLAN PART 2 & SECOND FAMILY UNIT FLOOR PLAN
	SECOND FAMILY UNIT FLOOR PLAN
A2.3	ROOF PLAN
A3.1	ELEVATIONS
A3.2	DETAILS, ELEVATIONS & ROOF CROSS SECTION
A3.3	VIEW POINT SECTIONS & LINE OF SIGHT
A3.4	LINE OF SIGHT
L1.0	IRRIGATION PLAN
L2.0	PLANTING PLAN
L3.0	LANDSCAPE SPECIFICATIONS
L4.0	LANDSCAPE CONSTRUCTION DETAILS
C-1	GRADING & DRAINAGE PLAN
C-2	ON SITE UTILITY PLAN
C-3	ON SITE CROSS SECTIONS & DETAILS
C-4	PRELIMINARY OFF SITE IMPROVEMENT PLAN
C-5	OFF SITE SANITARY SEWER PROFILE
C-6	EROSION CONTROL

Innovative Design Architecture, Inc.

IDA

JOHN HA, AIA
510 LAWRENCE EXP.
SUITE # 105
SUNNYVALE, CA 94085
TEL: (408) 245-0991
TEL: (408) 245-0319

OWNER:
PHUNG NGUYEN
1671 CANYON VIEW DR.
SAN JOSE, CA 95132
408-926-1625

PHUNG RESIDENCE

1000 PIEDMONT ROAD
MILPITAS, CA 95035

REVISIONS:

△ PLANNING REVISION 11-25-03
△ PLANNING REVISION 02-23-06

SHEET TITLE

DATE: SEPT. 13, 2005 PROJECT NO.: 050-013

SCALE: DRAWN: JAH/JS

SHEET

A-0

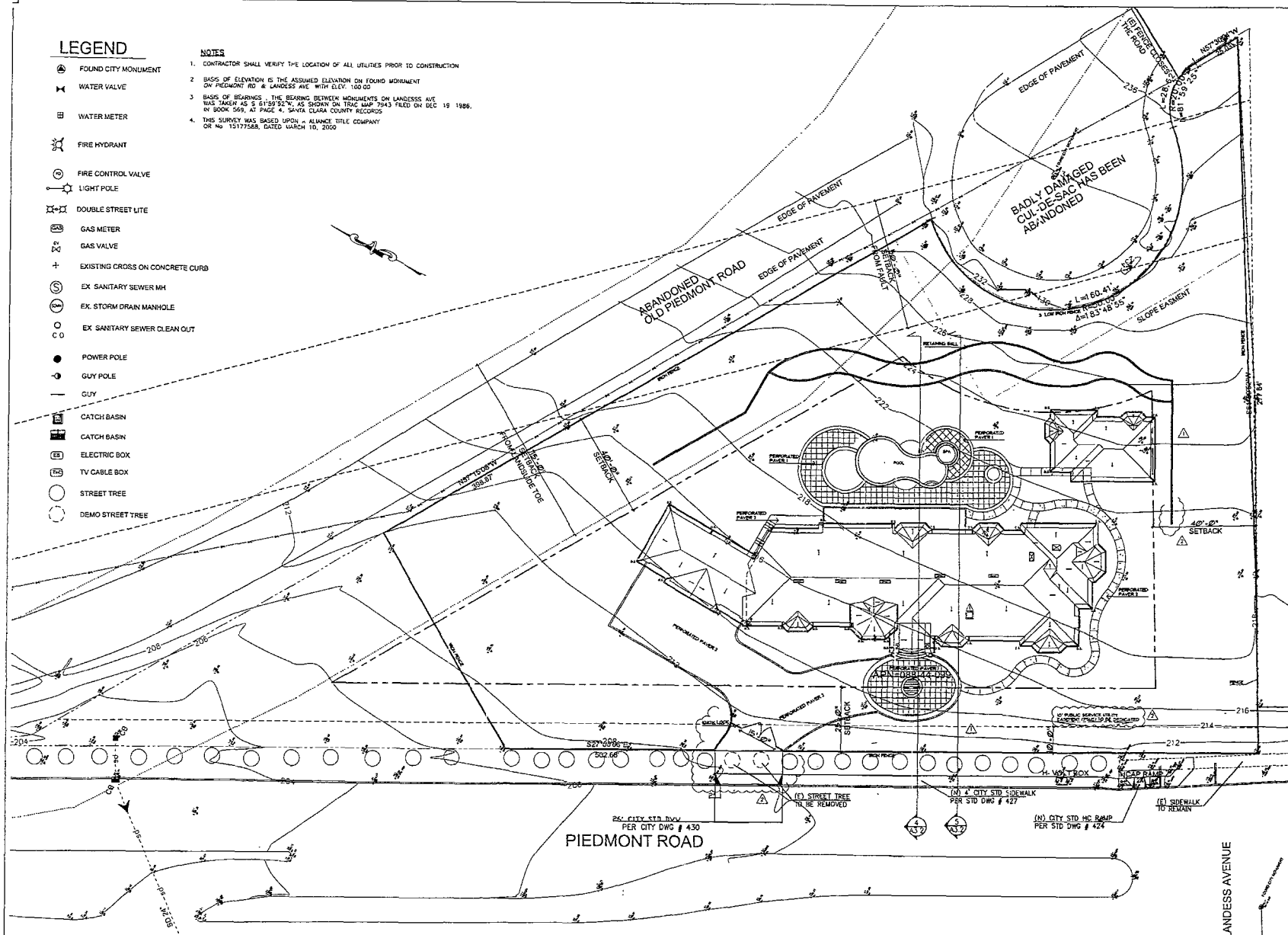
OF SHEETS

LEGEND

- FOUND CITY MONUMENT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- FIRE CONTROL VALVE
- LIGHT POLE
- DOUBLE STREET LITE
- GAS METER
- GAS VALVE
- EXISTING CROSS ON CONCRETE CURB
- EX. SANITARY SEWER MH
- EX. STORM DRAIN MANHOLE
- EX. SANITARY SEWER CLEAN OUT
- POWER POLE
- GUY POLE
- GUY
- CATCH BASIN
- CATCH BASIN
- ELECTRIC BOX
- TV CABLE BOX
- STREET TREE
- DEMO STREET TREE

NOTES

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
- BASIS OF ELEVATION IS THE ASSUMED ELEVATION ON FOUND MONUMENT ON PIEDMONT RD & LANDESS AVE WITH ELEV. 100.00
- BASIS OF BEARINGS: THE BEARING BETWEEN MONUMENTS ON LANDESS AVE WAS TAKEN AS S 61°59'24"W, AS SHOWN ON TRAC MAP 7943 FILED ON DEC. 19 1988, IN BOOK 569, AT PAGE 4, SANTA CLARA COUNTY RECORDS
- THIS SURVEY WAS BASED UPON A ALANCE TITLE COMPANY OR NO 15177588, DATED MARCH 10, 2000



SITE PLAN

Innovative Design Architecture, Inc.

IDA

JOHN H.A. AIA
510 LAWRENCE EXP.
SUITE # 105
SUNNYVALE, CA 94085
TEL: (408) 245-0991
TEL: (408) 245-0519

OWNER:
PHUNG NGUYEN
1871 CANYON VIEW DR.
SAN JOSE, CA 95132
408-926-1625

PHUNG RESIDENCE

1000 PIEDMONT ROAD
MILPITAS, CA 95035

REVISIONS:

△ PLANNING REVISION 11-03-05
△ PLANNING REVISION 07-03-06

SHEET TITLE
SITE PLAN

DATE: DEPT. 13, 2005 PROJECT NO.: 05-013
SCALE: DRAWN: JAL/JJ
SHEET: A-1

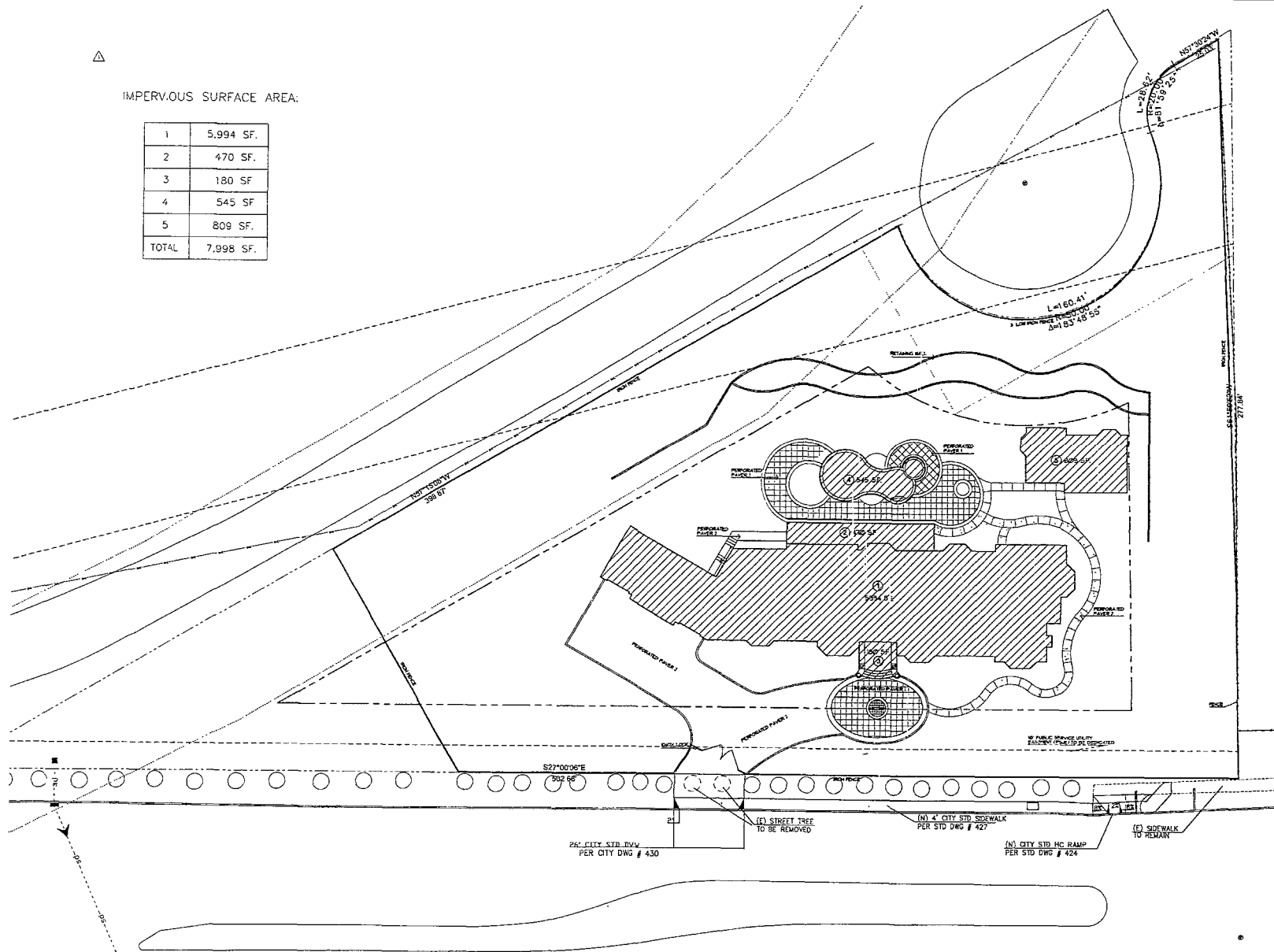
OF SHEETS

1/16" 1



IMPERVIOUS SURFACE AREA:

1	5,994 SF.
2	470 SF.
3	180 SF.
4	545 SF.
5	809 SF.
TOTAL	7,998 SF.



IMPERVIOUS SURFACE CALCULATION

1/16" 1

IDA
Innovative Design Architecture, Inc.

JOHN HA, AIA
510 LAWRENCE EXP.
SUITE # 105
SUNNYVALE, CA 95085
TEL: (408) 245-0991
TEL: (408) 245-0319

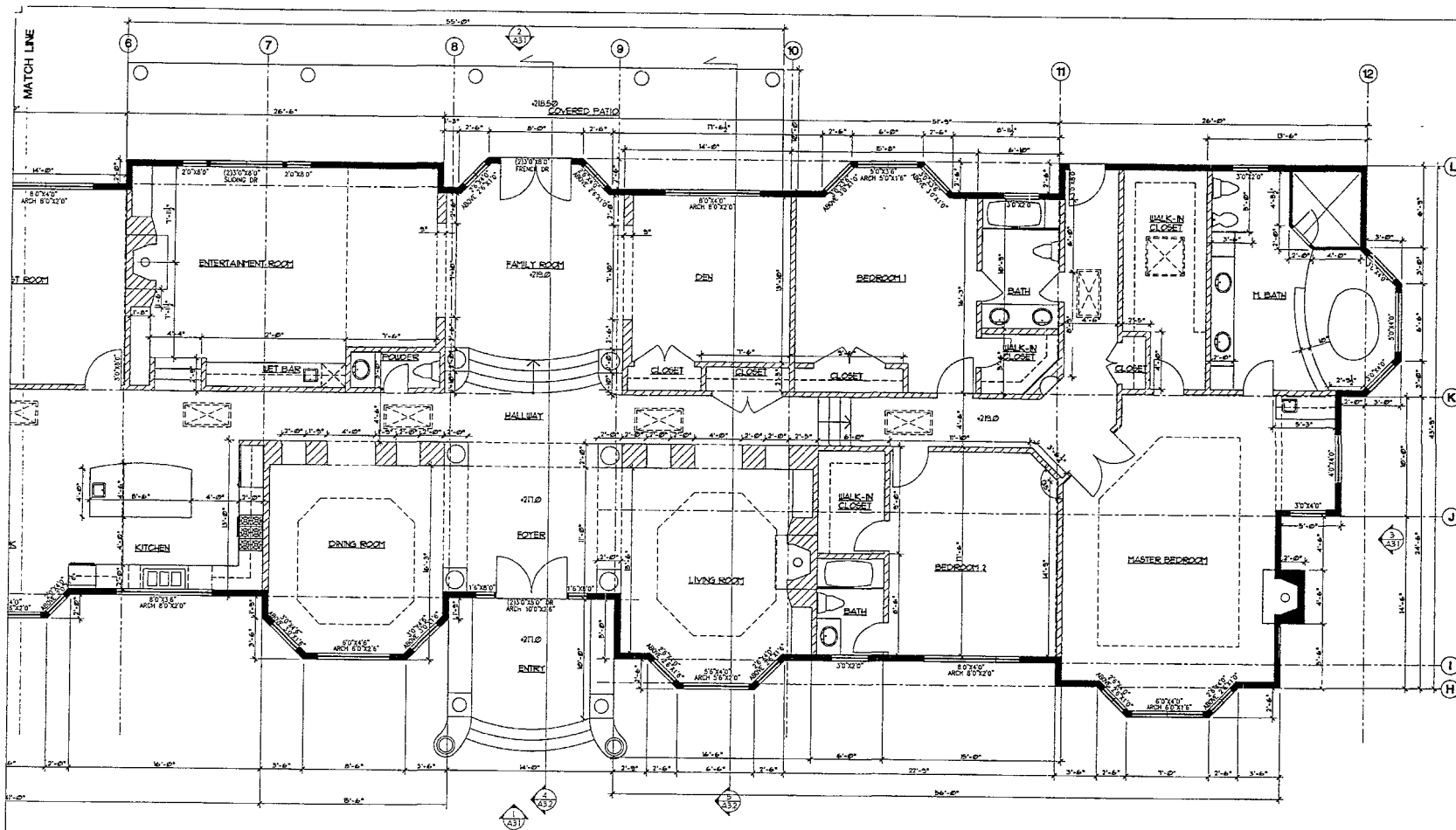
OWNER:
PHUNG NGUYEN
1671 CANYON VIEW DR.
SAN JOSE, CA 95132
408-926-1625

PHUNG RESIDENCE
1000 PIEDMONT ROAD
MILPITAS, CA 95035

REVISIONS:
A PLANNING REVISION 11-09-05

SHEET TITLE:
IMPERVIOUS SURFACE
CALCULATION

DATE: SEPT. 10, 2009 PROJECT NO.: 09-013
SCALE: DRAWN: JAH/JJ
SHEET: A-11
OF SHEETS



LEGEND :

WINDOWS

- 3/4" x 2 1/2" WOOD STUDS @ 16" O.C. WITH 1/2" THK. CYP. BD. ON BOTH SIDES. USE W/R GREEN CYP. BD. @ WET WALLS (SEE FURNACE UNDER STUD @ SHEAR WALLS) S.S.D.
- 2 1/4" OR 2 1/2" WOOD STUDS @ 16" O.C. WITH 1/2" THK. CYP. BD. ON INTERIOR SIDE. 7/16" CEILING PLASTER OVER 2 LAYER GRADE 5" PAPER LATH GR. WOOD SOILING OVER 1 1/2" SLUG. PAPER UNDER 1/2" CIP. FURNACE EXTERIOR SIDE PAINTED (SEE EXHAUSTS FOR EXTERIOR FINISH)
- 2 1/4" OR 2 1/2" WOOD STUDS @ 16" O.C. WITH 3/8" THK. 1" CYP. BD. ON BOTH SIDES (1/2" CIP. FURNACE UNDER STUD @ SHEAR WALLS)
- * PROVIDE 2 1/4" ALL PLUMBING WALL LOAD BEARING WALL AS INDICATED ON STRUCT. DWG.
- * TYPICAL ALL PLUMBING WALLS BEARING WALLS AND WALL EXCEED 10'-0" HIGH SHALL BE 2 1/2" STUDS @ 16" O.C.

NOTES

1. PROVIDE 1/2" TYPE "X" CYP. BD. @ ALL WALLS AND CEILING w/ STORAGE ON UNDER STAIRS.
2. PROVIDE W/R GREEN CYP. BD. @ AROUND SHOWER TUBS PER USC CHAPTER 25.
3. FURNACE COMBUSTION AIR TO COMPLY WITH 602 UMC.
4. WATER HEATER / FURNACE SHOULD BE STRAPPED & RAISED +18" OFF THE FLOOR PER UPC / UMC.
5. THE CEILING IN GARAGE AND FURNACE AND FLUES SHALL COMPLY WITH USC CHAPTER 3.
6. VENTILATION @ LAUNDRY & WATER CLOSET ROOM TO COMPLY WITH USC CHAPTER 3.
7. ALL ESCAPE WINDOWS TO COMPLY USC 310.4.
8. EXTERIOR CONCRETE LANDING TO COMPLY USC 1902.
9. ATTIC VENTILATION TO COMPLY USC 1505.
10. CRAWL SPACE VENTILATION TO COMPLY USC 2317.7.
11. FIRE PLACE TO COMPLY ICBO #3507 FM.
12. ALL BATH ROOM LIGHTS SHALL BE FLUORESCENT LIGHTS.
13. ALL SHOWER OR TUB GLASS DOOR SHALL BE TEMPERED GLASS.

All escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet. The minimum net clear openable height dimension shall be 24". The minimum net clear openable width dimension shall be 20". When windows are provided as a means of escape or rescue they shall have a finished sill height not more than 44 inches above the floor.

FLOOR PLAN PART 1

1/4" 1

IDA

Innovative Design Architecture, Inc.

JOHN HA, AIA
510 LAWRENCE EXP.
SUITE # 105
SUNNYVALE, CA 94085
TEL: (408) 245-0991
TEL: (408) 245-0319

OWNER:
PHUNG NGUYEN
1671 CANYON VIEW DR.
SUN JOSE, CA 95132
408-926-1625

PHUNG RESIDENCE
1000 PIEDMONT ROAD
MILPITAS, CA 95035

REVISIONS

SHEET TITLE
FLOOR PLAN 1

DATE: SEPT. 25, 2005 PROJECT NO. 459-B-13
SCALE: DRAWN JHA/AM

SHEET

A-2.1

OF SHEETS

Innovative Design Architecture, Inc.

IDA

JOHN ZA, AIA
510 LAWRENCE EXP.
SUITE # 105
SUNNYVALE, CA 94085
TEL: (408) 245-0891
TEL: (408) 245-0319

OWNER:
PHUNG NGUYEN
1671 CANYON VIEW DR.
SAN JOSE, CA 95132
408-926-1525

PHUNG RESIDENCE
1000 PIEDMONT ROAD
MILPITAS, CA 95035

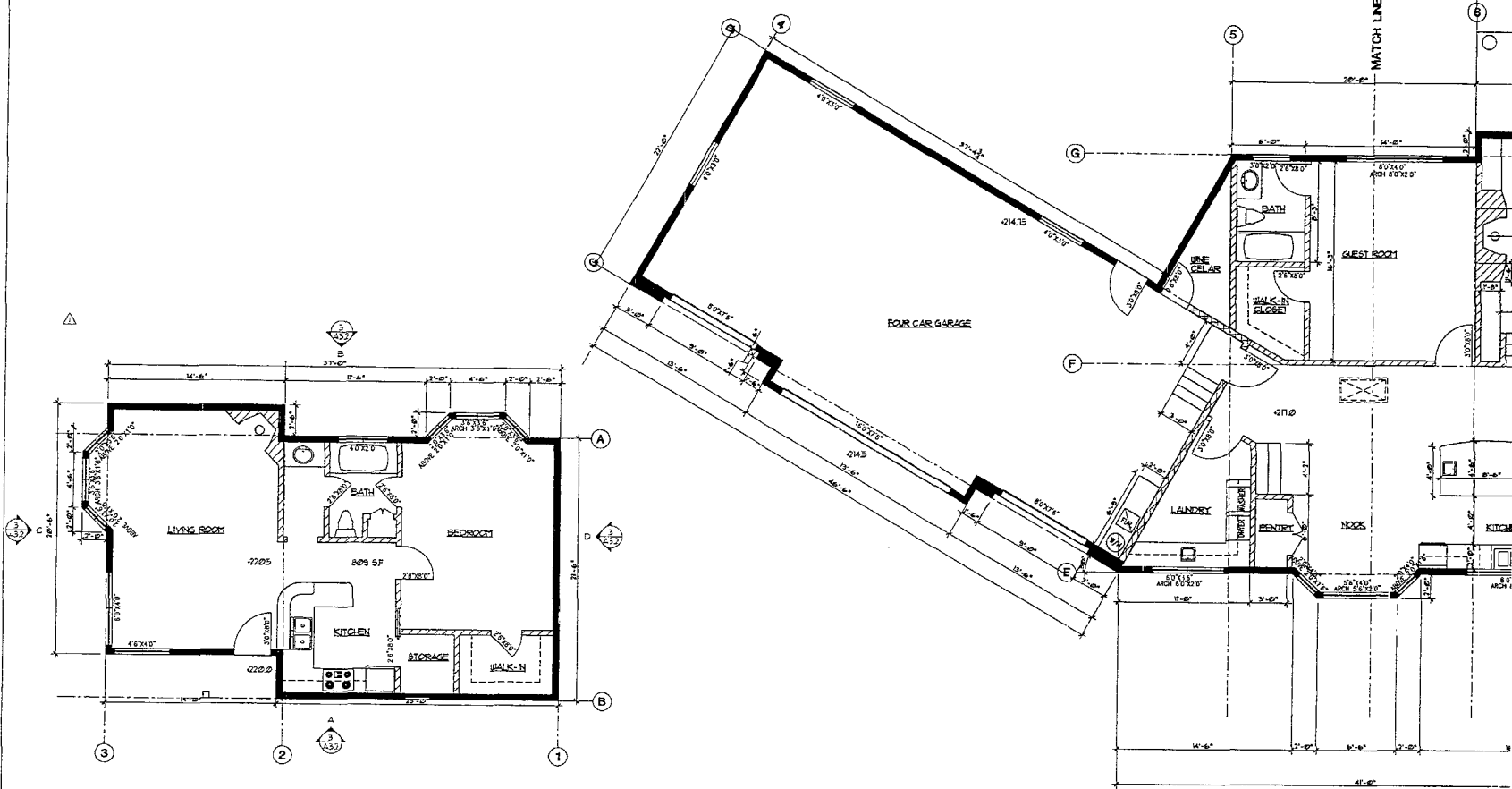
PLANNING REVISION 11-09-05

SHEET TITLE:
FLOOR PLAN 2

DATE: SEPT. 13, 2005 PROJECT NO: 05-013
SCALE: DRAWN: JVAAD

SHEET
A-2.2

OF SHEETS



LEGEND:

- WINDOWS**
- 214 OR 216 WOOD STUDS @ 16" O.C. WITH 1/2" THK. CYP. BD. ON BOTH SIDES. USE W/8 GREEN CYP. BD. @ 48" WALLS (COP. PLYWOOD OVER STUD @ SHEAR WALLS) S.S.D.
 - 214 OR 216 WOOD STUDS @ 16" O.C. WITH 1/2" THK. CYP. BD. ON WEIRER SIDE. 1/8" CELENT PLASTER OVER 2 LAYER GRADE. 1/2" PAPER LATH OR WOOD SCUM OVER 1/8" BLOC. PAINT. DROP 1/2" COP. PLYWOOD EXTERIOR SIDE PAINTED. (SEE ELEVATIONS FOR EXTERIOR FINISH)
 - 214 OR 216 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE "X" CYP. BD. ON BOTH SIDES. (1/2" COP. PLYWOOD OVER STUD @ SHEAR WALLS)
 - * PROVIDE 216 @ ALL PLUMBING WALL LOAD BEARING WALL AS INDICATED ON STRUCT. DWG.
 - * TYPICAL ALL PLUMBING WALLS BEARING WALLS AND WALL EXTERIOR 10'-0" HIGH SHALL BE 216 STUDS @ 16" O.C.

NOTES:

1. PROVIDE 5/8" TYPE "X" CYP. BD. @ ALL WALLS AND CEILING IN STORAGE RM UNDER STAIR
2. PROVIDE W/8 GREEN CYP. BD. @ AROUND SHOWER, TUBS FOR USC CENTER 25
3. FURNACE COMBUSTION AIR TO COMPLY WITH 602 USC
4. WATER HEATER / FURNACE SHOULD BE STRAPPED & RAISED +18" OFF THE FLOOR PER UPC / UMC
5. THE CEILING IN GARAGE AND FURNACE / HD FLUES SHALL COMPLY WITH USC CHAPTER 3
6. VENTILATION @ LAUNDRY & WATER CLOSET ROOM TO COMPLY WITH USC CHAPTER 3
7. ALL ESCAPE WINDOWS TO COMPLY USC 310.4
8. EXTERIOR CONCRETE LANDING TO COMPLY USC 1902
9. ATTIC VENTILATION TO COMPLY USC 1505
10. CROWN SPACE VENTILATION TO COMPLY USC 2317
11. FIRE PLACE TO COMPLY ICBO #3507 FM
12. ALL BATH ROOM LIGHTS SHALL BE FLUORESCENT LIGHTS.
13. ALL SHOWER OR TUB GLASS DOOR SHALL BE TEMPERED GLASS

All escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet. The minimum net clear openable height dimension shall be 24". The minimum net clear openable width dimension shall be 20". When windows are provided on a means of escape or rescue they shall have a finished sill height not more than 44 inches above the floor

FLOOR PLAN PART 2

1/4" 1

JOHN HA, AIA
510 LAWRENCE EXP.
SUITE # 105
SUNNYVALE, CA 94085
TEL: (408) 245-0991
TEL: (408) 245-0319

OWNER:
PHUNG NGUYEN
1671 CANYON VIEW DR.
SAN JOSE, CA 95132
408-928-1625

PHUNG RESIDENCE
1000 PIEDMONT ROAD
MILPITAS, CA 95035

REVISIONS:

△ PLANNING REVISION 11-09-05

SHEET TITLE
ROOF PLAN

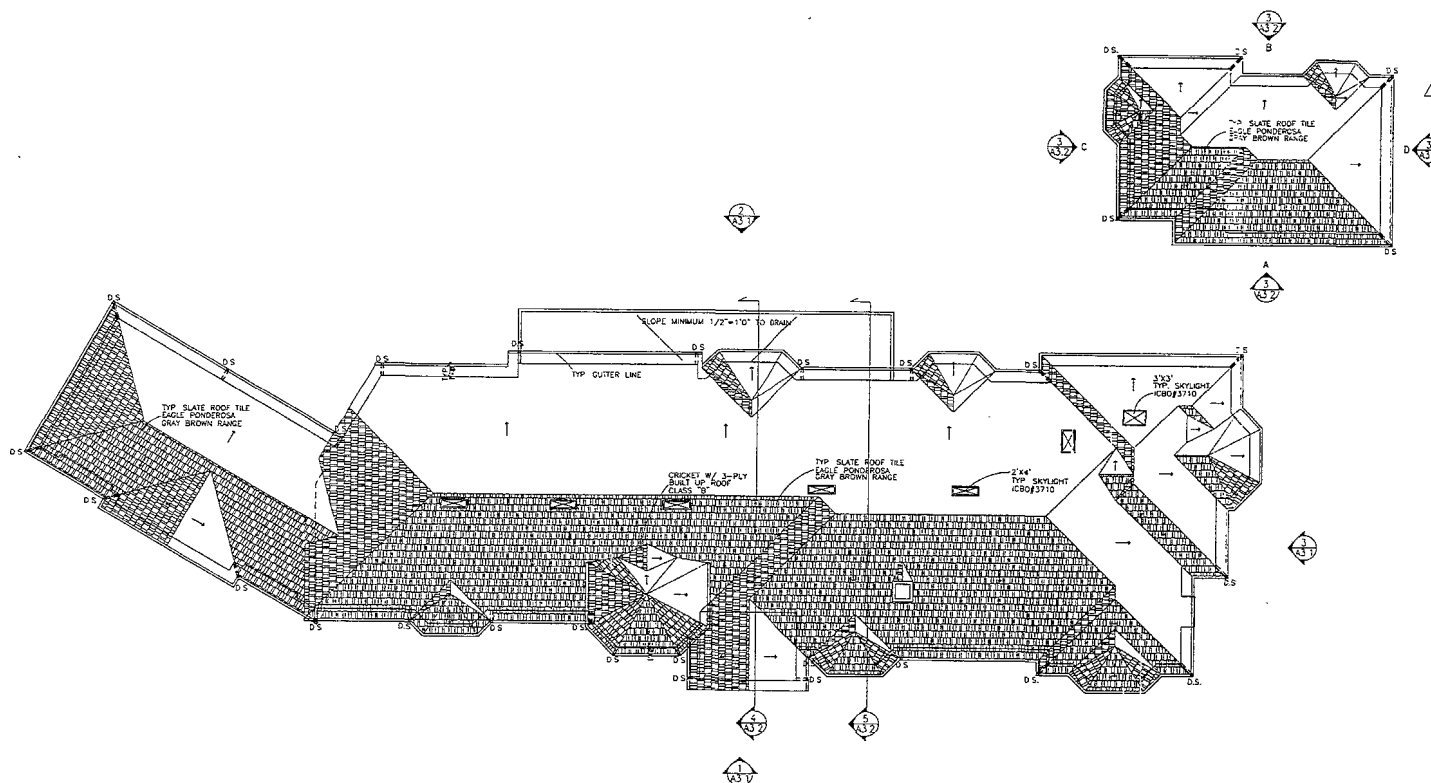
DATE: SEPT 13, 2009 PROJECT NO: 09-013
SCALE: DRAWN: JH/CAU
SHEET:

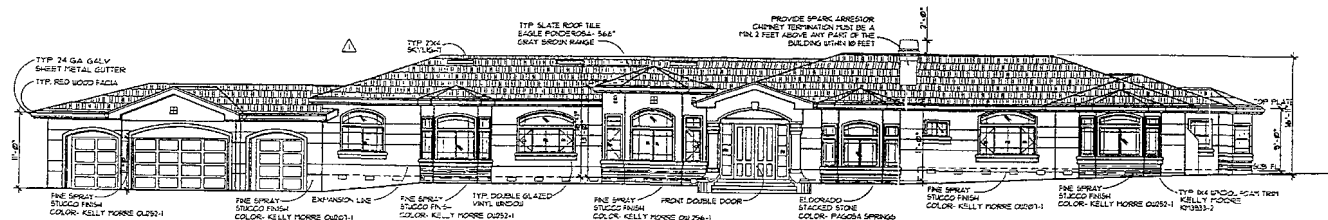
A-23

ROOF PLAN

1/8" 1

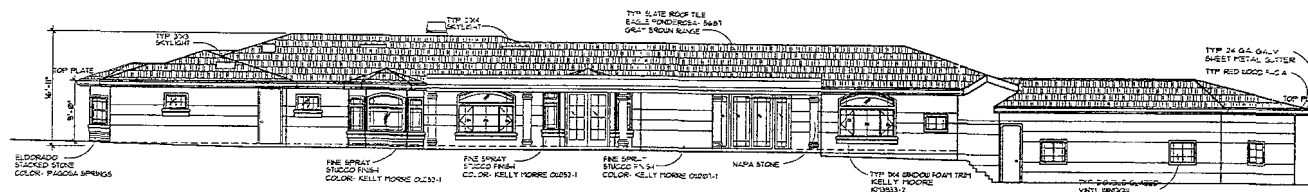
OF SHEETS





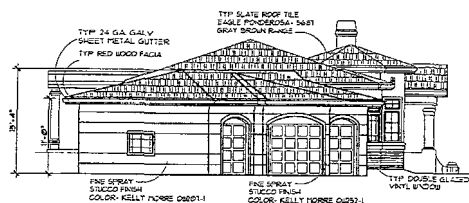
FRONT ELEVATION

1/8" 1



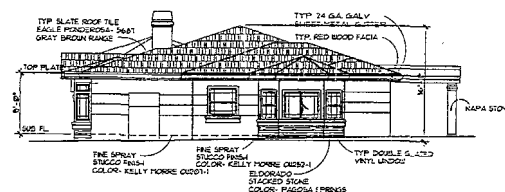
FRONT ELEVATION

1/8" 2



LEFT ELEVATION

1/8" 4



RIGHT ELEVATION

1/8" 3

REVISIONS:

PLANNING REVISION 01-03-05
PLANNING REVISION 02-03-06

SHEET TITLE
ELEVATIONS

DATE: SEPT. 13, 2005 PROJECT NO: 05-013
SCALE: DRAWN: JACU

SHEET

A-3.1

OF SHEETS

IDA

Innovative Design Architecture, Inc.

JOHN HA, AIA
510 LAWRENCE EXP.
SUITE # 105
SUNNYVALE, CA 95088
TEL: (408) 245-0991
TEL: (408) 245-0319

OWNER:
PHUNG NGUYEN
1571 CANTON VIEW DR.
SAN JOSE, CA 95132
408-926-1625

PHUNG RESIDENCE

1000 PIEDMONT ROAD
MILPITAS, CA 95035

REVISIONS:

PLANNING REVISION 01-08-05
PLANNING REVISION 02-03-06

SHEET TITLE
ELEVATIONS &
SECTION

DATE: DEPT. 13, 2005 PROJECT NO. 05-013
SCALE: DRAWN: JAV/JEP
SHEET:

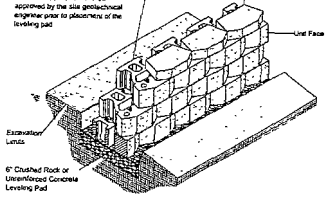
A-3.2

OF SHEETS

Base Leveling Pad Notes:

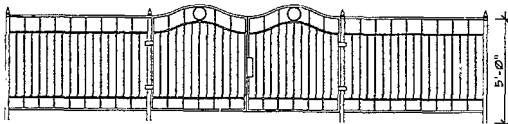
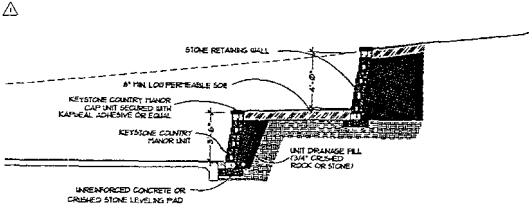
- The leveling pad is to be constructed of crushed stone or 2,000 psi unreinforced concrete.
- The base foundation is to be approved by the civil geotechnical engineer prior to placement of the leveling pad.

Standard Unit		Cap Unit	
Width:	18"	Width:	18"
Depth:	18"	Depth:	10 1/2"
Height:	6"	Height:	6"
* Weight:	102 lbs	* Weight:	45 lbs



Standard Unit/Base Pad Isometric Section View

* Dimensions & Weight May Vary by Region



ENLARGED STEP RETAINING WALL AND ISOMETRIC VIEW

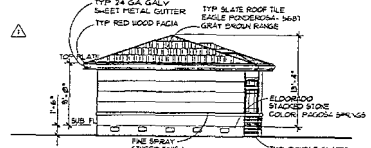
1/4"

2

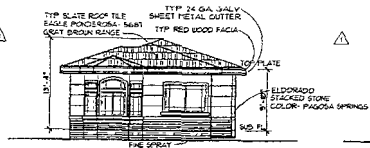
IRON FENCE AND GATE

3/8"

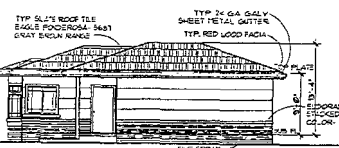
1



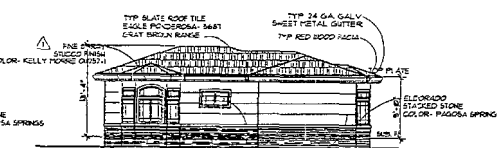
D-RIGHT ELEVATION



C-LEFT ELEVATION



B-FRONT ELEVATION

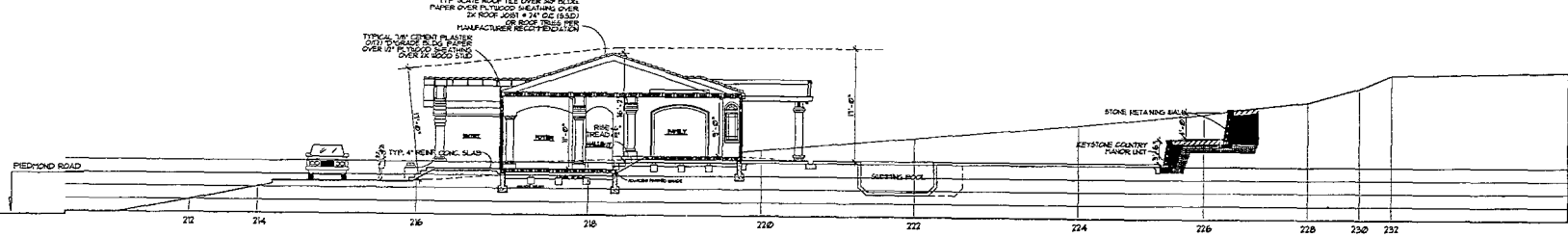


A-REAR ELEVATION

SECOND FAMILY HOUSE ELEVATIONS

1/8"

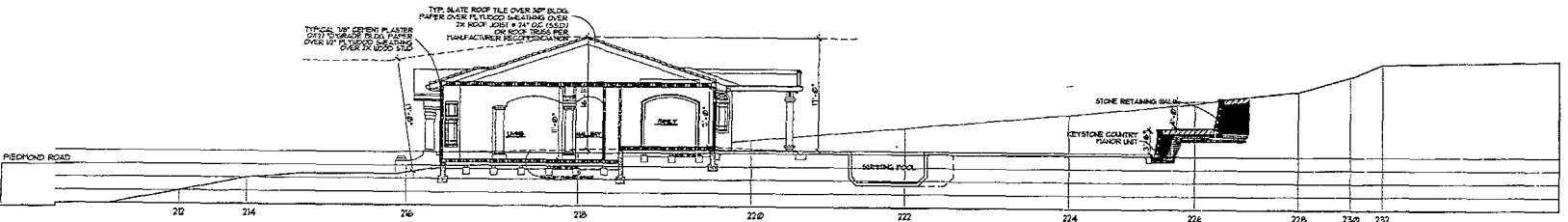
3



ROOF CROSS SECTION

1/8"

4



ROOF CROSS SECTION

1/8"

5

IDA

Innovative Design Architecture, Inc.

JOHN H.A. AIA
510 LAWRENCE EXP.
SUITE # 105
SUNNYVALE, CA 94085
TEL: (408) 245-0991
TEL: (408) 245-0319

OWNER:
PHUNG NGUYEN
1671 CANYON VIEW DR.
SAN JOSE, CA 95132
408-926-1625

PHUNG RESIDENCE
1000 PIEDMONT ROAD
MILPITAS, CA 95035

REVISIONS:

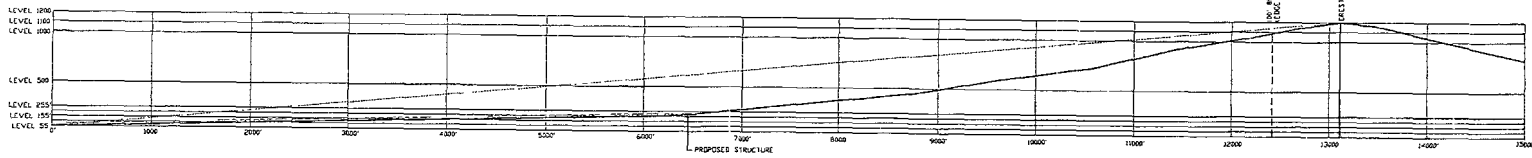
△ PLANNING REVISION 11-09-05
△ PLANNING REVISION 02-03-06

SHEET TITLE:
VIEW POINT SECTIONS

DATE: SEPT. 13, 2005 PROJECT NO: 05-013
SCALE: DRAWN: JH/AJ
SHEET

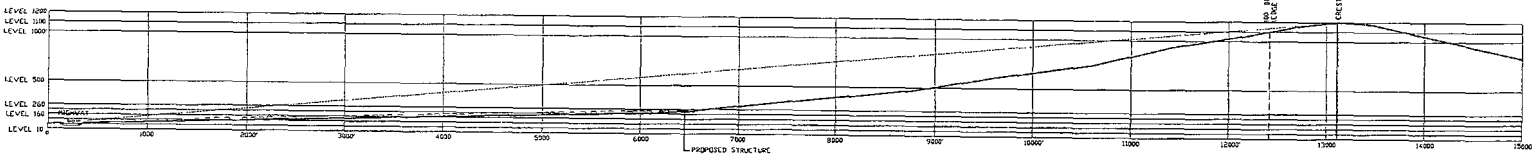
A-3.3

OF SHEETS



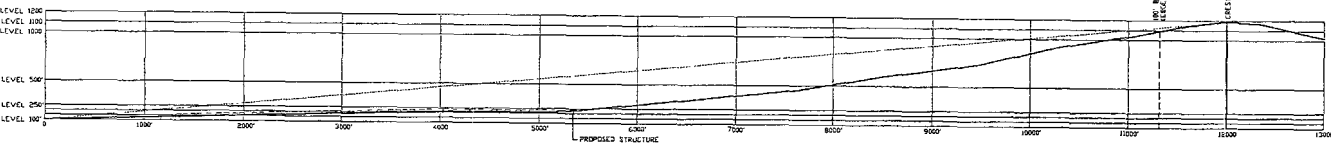
VIEW POINT 7 SECTION

300' 1



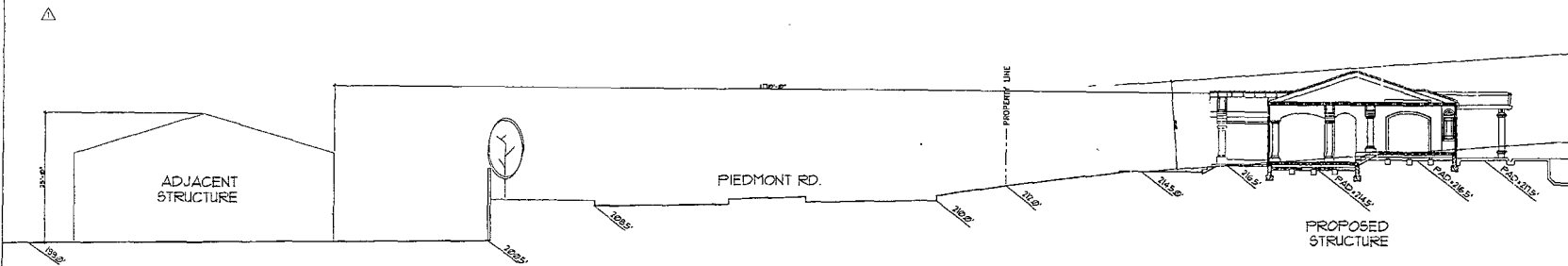
VIEW POINT 8 SECTION

300' 2



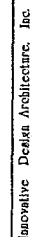
VIEW POINT 9 SECTION

300' 3



LINE OF SIGHT a-a'

10' 4



JOHN H.A. AIA
510 LAWRENCE EXP.
SUITE # 105
SUNNYVALE, CA94085
TEL: (408) 245-0991
TEL: (408) 245-0319

OWNER
PHUNG NGUYEN
1671 CANYON VIEW DR.
SAN JOSE, CA 95132
408-926-1625

PHUNG RESIDENCE
1000 PIEDMONT ROAD
MILPITAS, CA 95035

REVISIONS

⚠ PLANNING REVISION 11-03-02

SHEET TITLE
VIEW POINT SECTIONS

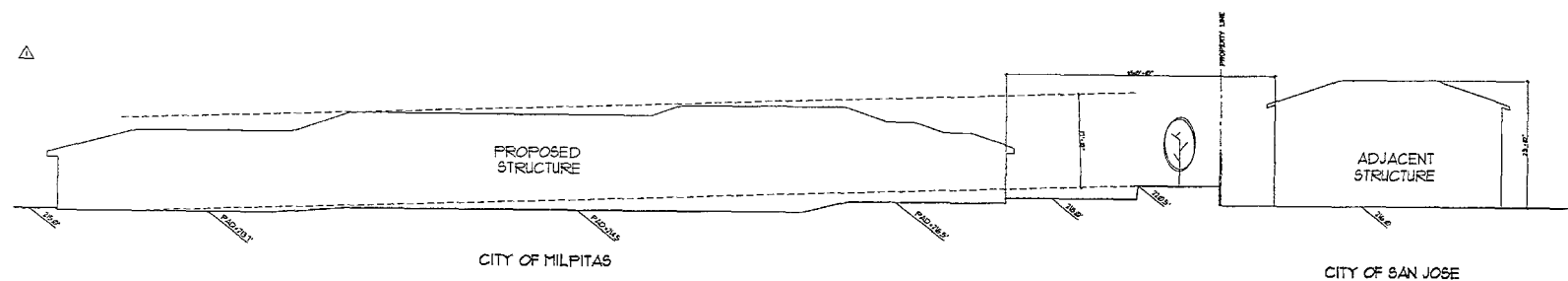
DATE	PROJECT NO.
SEPT. 13, 2005	05-073

SCALE DRAWN
- JH/JU

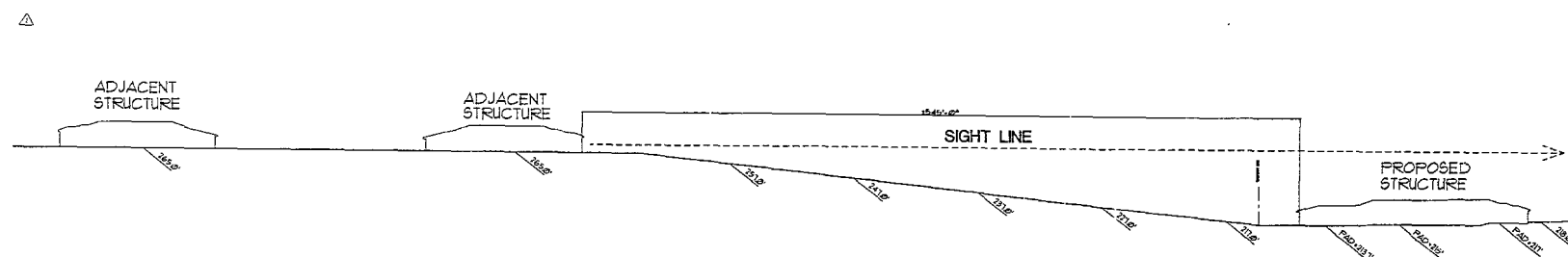
SHEET

A-3.4

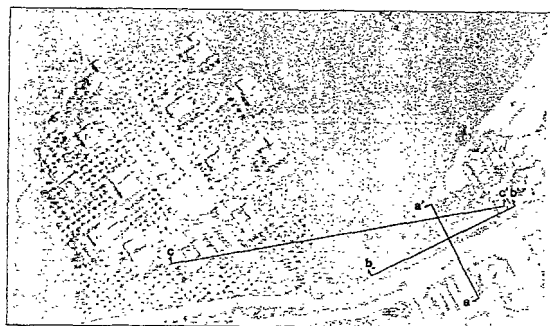
OF SHEETS



LINE OF SIGHT b-b'

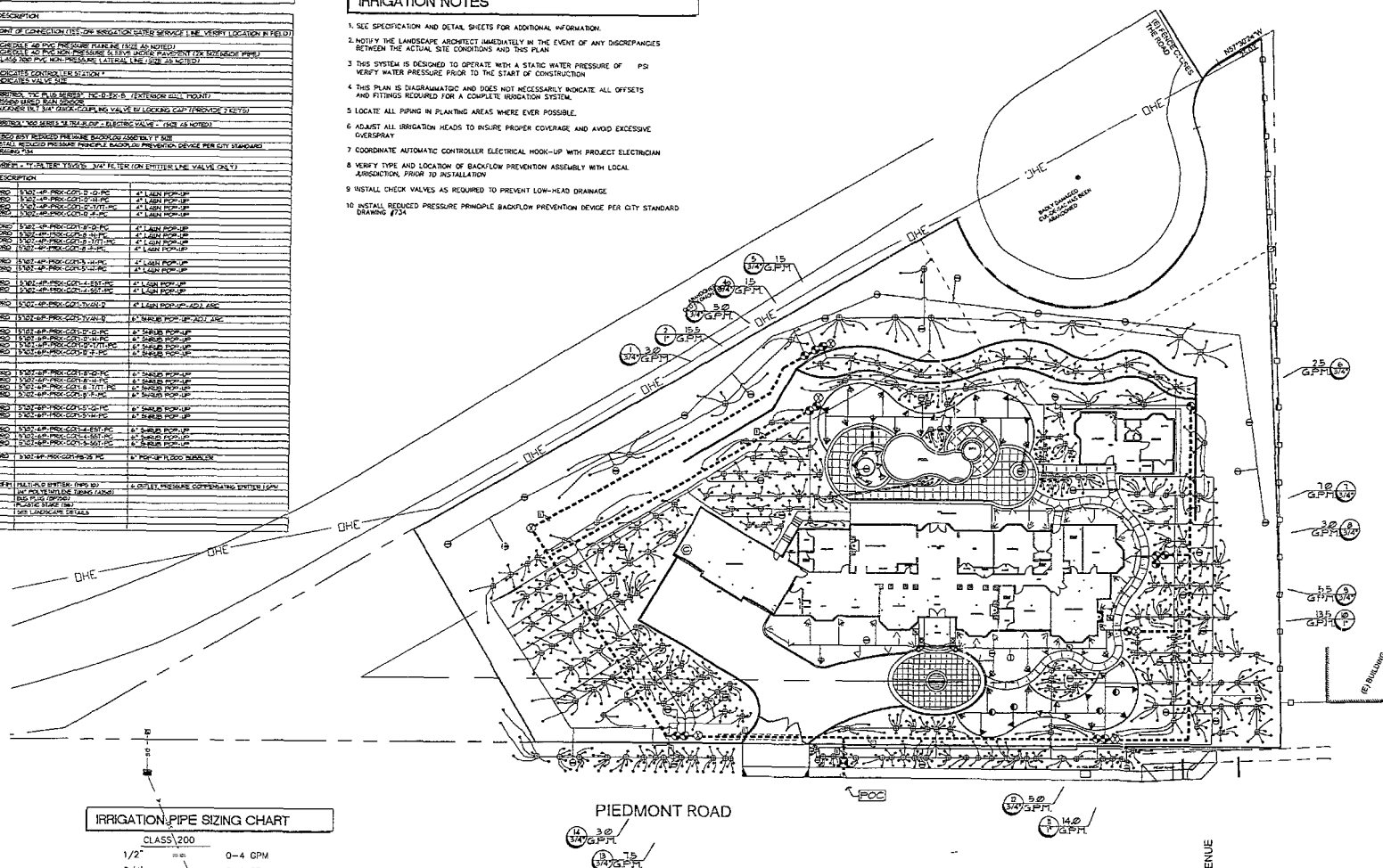


LINE OF SIGHT c-c'



[illegible]

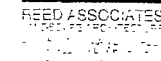
1. SEE SPECIFICATION AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.
2. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE ACTUAL SITE CONDITIONS AND THIS PLAN.
3. THIS SYSTEM IS DESIGNED TO OPERATE WITH A STATIC WATER PRESSURE OF PSI VERSI WATER PRESSURE PRIOR TO THE START OF CONSTRUCTION.
4. THIS PLAN IS DIAGNOSTIC AND DOES NOT NECESSARILY INDICATE ALL OFFSETS AND FITTINGS REQUIRED FOR A COMPLETE IRRIGATION SYSTEM.
5. LOCATE ALL PIPING IN PLANTING AREAS WHERE EVER POSSIBLE.
6. ADJUST ALL IRRIGATION HEADS TO INSURE PROPER COVERAGE AND AVOID EXCESSIVE OVERSPRAY.
7. COORDINATE AUTOMATIC CONTROLLER ELECTRICAL WOOK-UP WITH PROJECT ELECTRICIAN.
8. VERIFY TYPE AND LOCATION OF BACKFLOW PREVENTION ASSEMBLY WITH LOCAL JURISDICTION PRIOR TO INSTALLATION.
9. INSTALL CHECK VALVES AS REQUIRED TO PREVENT LOW-HEAD DRAINAGE.
10. INITIAL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE PER CITY STANDARD DRAINING E-201.



CLASS 200	
1/2"	0-4 GPM
3/4"	5-9 GPM
1"	10-16 GPM
1-1/4"	17-26 GPM
1-1/2"	27-35 GPM
2"	36-55 GPM

SCHEDULE 40	
1/2"	0-4 GPM
3/4"	5-8 GPM
1"	9-16 GPM
1-1/4"	16-22 GPM
1-1/2"	23-30 GPM
2"	31-50 GPM

28,668 SQUARE FEET TOTAL LANDSCAPE WITH IRRIGATION
49,856 GALLONS PER YEAR FOR ESTABLISHED PLANT MATERIAL



1671 CANYON VIEW DR.
SAN JOSE, CA 95132

ISSUE _____ DATE _____



OWNERSHIP AND USE OF DOCUMENTS
All Drawings, Specifications and copies thereof furnished by Reed Associates Landscape Architecture are and shall remain its property. They are to be used only with respect to the Project and are not to be used on any other project. Submission or declaration to meet official regulatory requirements or for purposes in conflict with the Project is not to be construed as publication in derogation of Reed Associates Landscape Architecture, common law copyright or other reserved rights.

Approved	pjr		
Drawn	DGS	Reviewed	pjr
Project No.	03.xx		
Scale	1"=20'	Issue Date	7/28/05

IRRIGATION PLAN

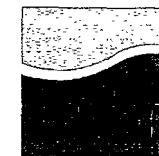
L1.0

Sheet of

PLANT LIST			
KEY	COMMON NAME	QTY	REMARKS
1	REDWOOD	1	1" DIA. NATURAL
2	REDWOOD	1	1" DIA. NATURAL
3	REDWOOD	1	1" DIA. NATURAL
4	REDWOOD	1	1" DIA. NATURAL
5	REDWOOD	1	1" DIA. NATURAL
6	REDWOOD	1	1" DIA. NATURAL
7	REDWOOD	1	1" DIA. NATURAL
8	REDWOOD	1	1" DIA. NATURAL
9	REDWOOD	1	1" DIA. NATURAL
10	REDWOOD	1	1" DIA. NATURAL
11	REDWOOD	1	1" DIA. NATURAL
12	REDWOOD	1	1" DIA. NATURAL
13	REDWOOD	1	1" DIA. NATURAL
14	REDWOOD	1	1" DIA. NATURAL
15	REDWOOD	1	1" DIA. NATURAL
16	REDWOOD	1	1" DIA. NATURAL
17	REDWOOD	1	1" DIA. NATURAL
18	REDWOOD	1	1" DIA. NATURAL
19	REDWOOD	1	1" DIA. NATURAL
20	REDWOOD	1	1" DIA. NATURAL
21	REDWOOD	1	1" DIA. NATURAL
22	REDWOOD	1	1" DIA. NATURAL
23	REDWOOD	1	1" DIA. NATURAL
24	REDWOOD	1	1" DIA. NATURAL
25	REDWOOD	1	1" DIA. NATURAL
26	REDWOOD	1	1" DIA. NATURAL
27	REDWOOD	1	1" DIA. NATURAL
28	REDWOOD	1	1" DIA. NATURAL
29	REDWOOD	1	1" DIA. NATURAL
30	REDWOOD	1	1" DIA. NATURAL
31	REDWOOD	1	1" DIA. NATURAL
32	REDWOOD	1	1" DIA. NATURAL
33	REDWOOD	1	1" DIA. NATURAL
34	REDWOOD	1	1" DIA. NATURAL
35	REDWOOD	1	1" DIA. NATURAL
36	REDWOOD	1	1" DIA. NATURAL
37	REDWOOD	1	1" DIA. NATURAL
38	REDWOOD	1	1" DIA. NATURAL
39	REDWOOD	1	1" DIA. NATURAL
40	REDWOOD	1	1" DIA. NATURAL
41	REDWOOD	1	1" DIA. NATURAL
42	REDWOOD	1	1" DIA. NATURAL
43	REDWOOD	1	1" DIA. NATURAL
44	REDWOOD	1	1" DIA. NATURAL
45	REDWOOD	1	1" DIA. NATURAL
46	REDWOOD	1	1" DIA. NATURAL
47	REDWOOD	1	1" DIA. NATURAL
48	REDWOOD	1	1" DIA. NATURAL
49	REDWOOD	1	1" DIA. NATURAL
50	REDWOOD	1	1" DIA. NATURAL
51	REDWOOD	1	1" DIA. NATURAL
52	REDWOOD	1	1" DIA. NATURAL
53	REDWOOD	1	1" DIA. NATURAL
54	REDWOOD	1	1" DIA. NATURAL
55	REDWOOD	1	1" DIA. NATURAL
56	REDWOOD	1	1" DIA. NATURAL
57	REDWOOD	1	1" DIA. NATURAL
58	REDWOOD	1	1" DIA. NATURAL
59	REDWOOD	1	1" DIA. NATURAL
60	REDWOOD	1	1" DIA. NATURAL
61	REDWOOD	1	1" DIA. NATURAL
62	REDWOOD	1	1" DIA. NATURAL
63	REDWOOD	1	1" DIA. NATURAL
64	REDWOOD	1	1" DIA. NATURAL
65	REDWOOD	1	1" DIA. NATURAL
66	REDWOOD	1	1" DIA. NATURAL
67	REDWOOD	1	1" DIA. NATURAL
68	REDWOOD	1	1" DIA. NATURAL
69	REDWOOD	1	1" DIA. NATURAL
70	REDWOOD	1	1" DIA. NATURAL
71	REDWOOD	1	1" DIA. NATURAL
72	REDWOOD	1	1" DIA. NATURAL
73	REDWOOD	1	1" DIA. NATURAL
74	REDWOOD	1	1" DIA. NATURAL
75	REDWOOD	1	1" DIA. NATURAL
76	REDWOOD	1	1" DIA. NATURAL
77	REDWOOD	1	1" DIA. NATURAL
78	REDWOOD	1	1" DIA. NATURAL
79	REDWOOD	1	1" DIA. NATURAL
80	REDWOOD	1	1" DIA. NATURAL
81	REDWOOD	1	1" DIA. NATURAL
82	REDWOOD	1	1" DIA. NATURAL
83	REDWOOD	1	1" DIA. NATURAL
84	REDWOOD	1	1" DIA. NATURAL
85	REDWOOD	1	1" DIA. NATURAL
86	REDWOOD	1	1" DIA. NATURAL
87	REDWOOD	1	1" DIA. NATURAL
88	REDWOOD	1	1" DIA. NATURAL
89	REDWOOD	1	1" DIA. NATURAL
90	REDWOOD	1	1" DIA. NATURAL
91	REDWOOD	1	1" DIA. NATURAL
92	REDWOOD	1	1" DIA. NATURAL
93	REDWOOD	1	1" DIA. NATURAL
94	REDWOOD	1	1" DIA. NATURAL
95	REDWOOD	1	1" DIA. NATURAL
96	REDWOOD	1	1" DIA. NATURAL
97	REDWOOD	1	1" DIA. NATURAL
98	REDWOOD	1	1" DIA. NATURAL
99	REDWOOD	1	1" DIA. NATURAL
100	REDWOOD	1	1" DIA. NATURAL

PLANT NOTES

- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCY BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- PLANT GROUNDS COVER IN SHED AREAS AS NOTED; USE TRIANGULAR SPACING.
- INDICATES PLANT KEY.
- AND GATES PLANT QUANTITY.
- SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- AND PLANT TO BE DOUBLE BUILT 2" DIA. ON 1" DIA. LEG OR EQUAL.
- COORDINATE ALL PLANT LOCATIONS WITH LANDSCAPE ARCHITECT BEFORE PLANTING.
- PRIOR TO ANY DRAINAGE, CALL UNDERGROUND SERVICES. ALERT UTILITY/LOCAL.
- THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MAY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS.
- ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES STRUCTURES OR OTHER FEATURES TO REMAIN AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (IN HOU).
- THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.



REED ASSOCIATES
 LANDSCAPE ARCHITECTURE
 477 SOUTH TAFFET STREET
 SUNNYVALE, CALIFORNIA 94086
 415.411.8222 • 415.411.8222 FAX
 WWW.REEDASSOCIATES.COM

PHUNG NGUYEN RESIDENCE

1671 CANYON VIEW DR.
 SAN JOSE, CA 95132

ISSUE DATE

City Comments 5/27/06

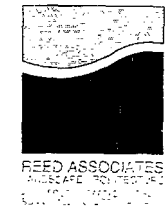
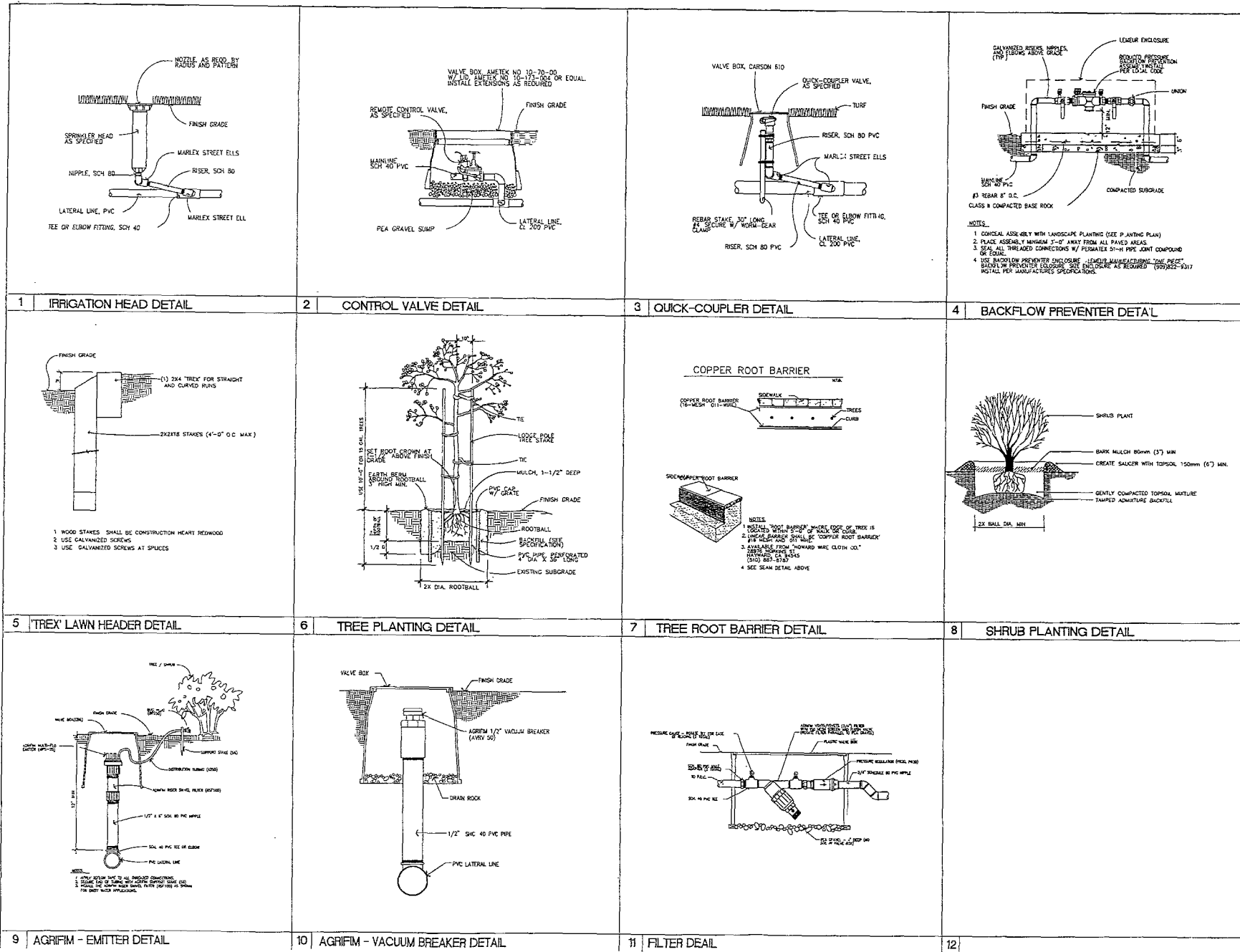


OWNERSHIP AND USE OF DOCUMENTS
 All drawings, specifications and reports created by Reed Associates Landscape Architecture are the sole property of Reed Associates. They are to be used only with respect to the project and are not to be used on any other project. Submission or distribution to third parties without the written consent of Reed Associates is prohibited. The project is not to be construed as a guarantee or warranty of Reed Associates' landscape architecture services, or any other reserved rights.

Drawn: DJS
 Project no: 03111
 Scale: 1"=20'
 Date: 7/25/05

PLANTING PLAN

L2.0



PHUNG NGUYEN
RESIDENCE

1600 PIEDMONT ROAD
MILPITAS, CA 95035

ISSUE DATE



OWNERSHIP AND USE OF DOCUMENTS
All drawings, specifications and copies thereof furnished by Reed Associates Landscape Architecture are and shall remain its property. They are to be used only with respect to this project and are not to be used on any other project. Submission or distribution to third parties without the written consent of Reed Associates Landscape Architecture, constitutes a violation of its copyright or other reserved rights.

Approved by: _____
Drawn: DGS Reviewed: DGS
Project No. 03.2x Issue Date 7/25/05
Scale: NTS

LANDSCAPE
CONSTRUCTION DETAIL

L4.0

Sheet of

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		CONTOUR
		WATER LINE
		STORM DRAIN LINE
		SANITARY SEWER LINE
		OVERHEAD UTILITIES WITH POLE
		GAS LINE
		STREET LIGHT VAULT
		SANITARY SEWER CLEANOUT
		MANHOLE
		CONCRETE MONUMENT IN WELL
		ELECTROVALVE
		WATER METER
		TREE WITH TRUNK
		SPOT ELEVATION
		5' WOODEN FENCE
		AREA DRAIN/INLET
		OVERLAND RELEASE PATH
		GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE 1% MIN. FROM PROPERTY LINE TO SWALE

ABBREVIATIONS

A.B.	AGGREGATE BASE	G	GRADE
AC	ASPHALT CONCRETE	GM	GRADE BREAK
AD	AREA DRAIN	GSF	FINISH GRADE AT FRONT OF GARAGE
B.W.	GRADE AT BOTTOM OF WALL	HP	HIGH POINT
C	CONCRETE	IN	INVERT
CB	DATCH BASIN	IN	NEW
CL	CHAIN LINK	P	PAVEMENT
CL	FINISH GRADE AT BACK OF GARAGE	PCC	PORTLAND CEMENT CONCRETE
CMB	CONCRETE MASONRY BLOCK	TC	TOP OF CURB
CPP	CORRUGATED PLASTIC PIPE	TS	TOP OF DATE
CRB-OP	CURB OPENING	TOS	TOP OF SLOPE
DRW	DRIVEWAY	TOW	TOP OF WALL
(E)	EXISTING	S.C.V.W.D.	SANTA CLARA VALLEY WATER DISTRICT
FF	FINISH FLOOR	SSB	SIDE SETBACK
FG	FINISH GRADE	SSCO	SANITARY SEWER CLEAN OUT
FL	FLOW LINE	SUP	SUBSERRAN PIPE
		WLK	WALKWAY

SHEET INDEX:

C-1	GRADING AND DRAINAGE PLAN
C-2	ON SITE UTILITY PLAN
C-3	ON SITE CROSS SECTIONS, DETAILS
C-4	PRELIMINARY OFF SITE IMPROVEMENT PLAN
C-5	OFF SITE SANITARY SEWER PROFILE
C-6	EROSION CONTROL

(N) FENCE NOTE:

UP HILL PROPERTY FENCES NEXT TO THE CUL-DE-SAC AND OLD PIEDMONT ROAD SHOULD NOT BLOCK THE NATURAL WATER FLOW.
PROVIDE 6" CLEARANCE FROM ORIGINAL GROUND TO THE BOTTOM OF THE NEW FENCE.
USE HOT DEEP GALVANIZED CHAIN LINK/ WIRE MESH AT THE BOTTOM OF FENCE TO PREVENT PETS AND SMALL ANIMALS.

SLOPE DENSITY CALCULATION:

NET AREA = 61,566 SQ. FT.
AVERAGE SLOPE = 1/A x SUM (L)
WHERE
L = 2 FEET (SLOPE INTERVAL)
SUM(L) = 3,335 FEET (TOTAL LENGTH OF CONTOURS)
AVERAGE SLOPE = 2 x 3335 x 100
61,566
AVERAGE SLOPE = 10.8%

NOTES

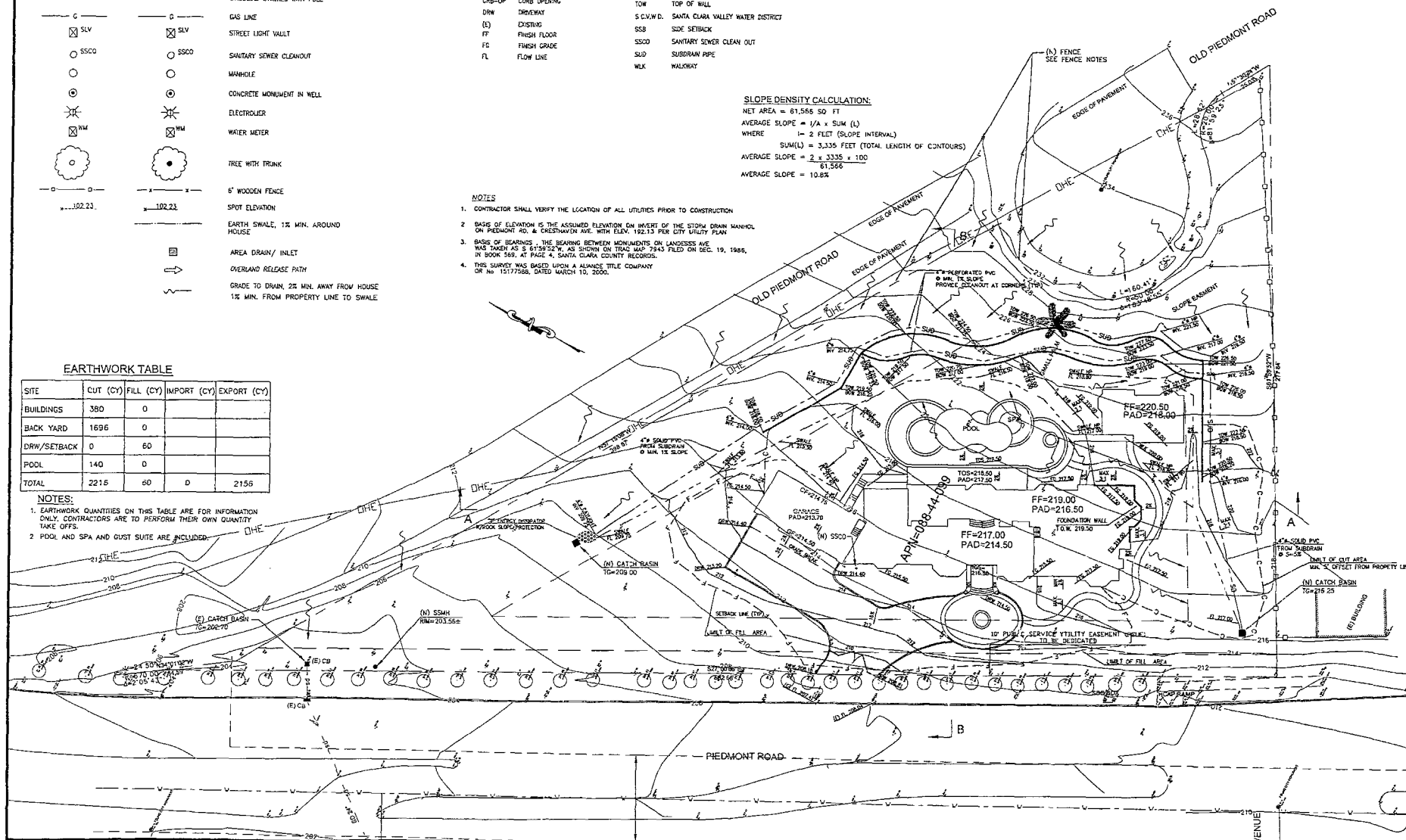
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
- BASE OF ELEVATION IS THE ASSUMED ELEVATION ON INVERT OF THE STORM DRAIN MANHOLE ON PIEDMONT RD. & CHERMANSON AVE. WITH ELEV. 192.13 PER CITY UTILITY PLAN
- BASE OF BEARINGS - THE BEARING BETWEEN MONUMENTS ON LANDSSES AVE WAS TAKEN AS S 67°29'52"W. AS SHOWN ON TRAC MAP 7943 FILED ON DEC. 19, 1986, OR BOOK 549, AT PAGE 4, SANTA CLARA COUNTY RECORDS.
- THIS SURVEY WAS BASED UPON A ALIANCE TITLE COMPANY OR NO 15177588, DATED MARCH 10, 2000.

EARTHWORK TABLE

SITE	CUT (CY)	FILL (CY)	IMPORT (CY)	EXPORT (CY)
BUILDINGS	380	0		
BACK YARD	1696	0		
DRW/SETBACK	0	60		
POOL	140	0		
TOTAL	2216	60	0	2156

NOTES:

- EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.
- POOL AND SPA AND GUEST SUITE ARE INCLUDED.

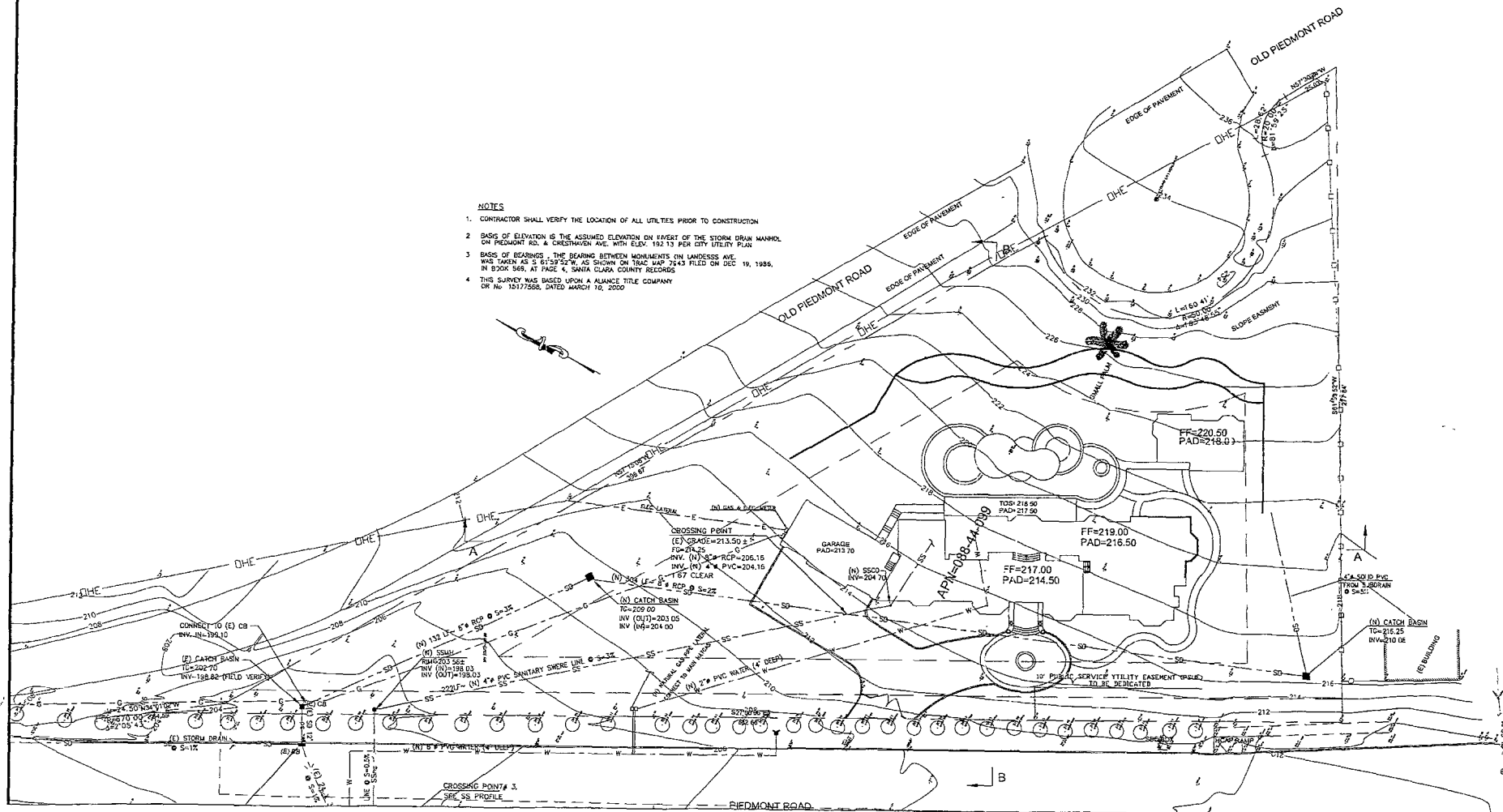


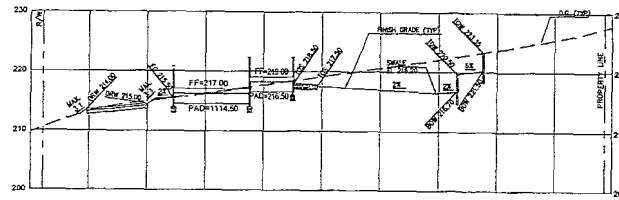
UTILITY NOTES:

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
2. CONNECT SANITARY SEWER AND WATER LINES TO EXISTING STREET LATERALS, PER PDMC STANDARDS.
3. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS
4. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
5. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSING AND INFORM THE OWNER/

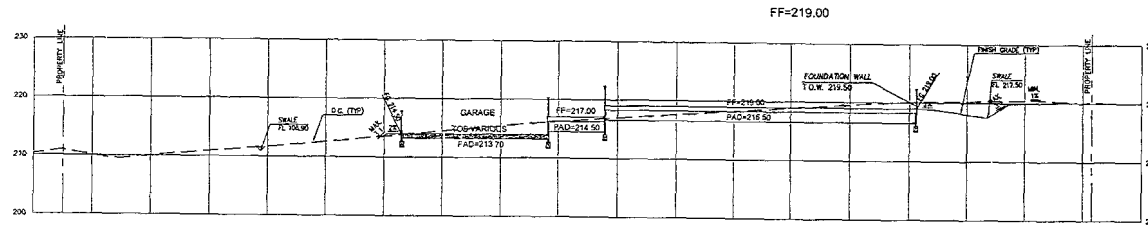
NOTES

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
2. DATE OF ELEVATION IS THE ASSUMED ELEVATION ON INVERT OF THE STORM DRAIN MANHOLE ON PIEDMONT RD. & CRESTVIEW AVE. WITH ELEV. 193.13 PER CITY UTILITY PLAN
3. BASIS OF BEARINGS - THE BEARING BETWEEN MONUMENTS ON LANDESS AVE. WAS TAKEN AS S 81°39'52"W, AS SHOWN ON TAC MAP 7543 FILED ON DEC 19, 1996, IN BOOK 360, AT PAGE 4, SANTA CLARA COUNTY RECORDS
4. THIS SURVEY WAS BASED UPON A ALANCE TITLE COMPANY OR NO 12177560, DATED MARCH 10, 2000

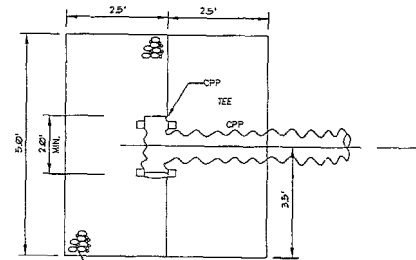




SECTION B-B
SCALE H: 1"=30'
SCALE V: 1"=10'

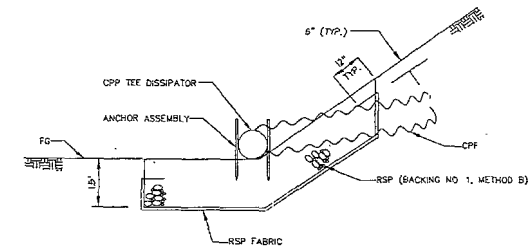


SECTION A-A
SCALE H: 1"=30'
SCALE V: 1"=10'

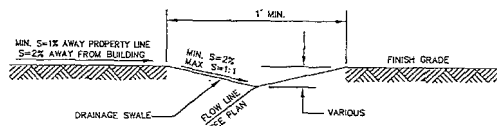
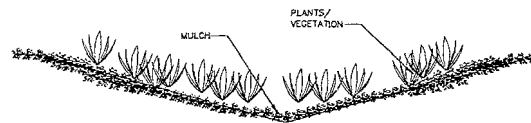


RSP (BACKING NO. 1, METHOD B)
CALTRANS STANDARD

PLAN

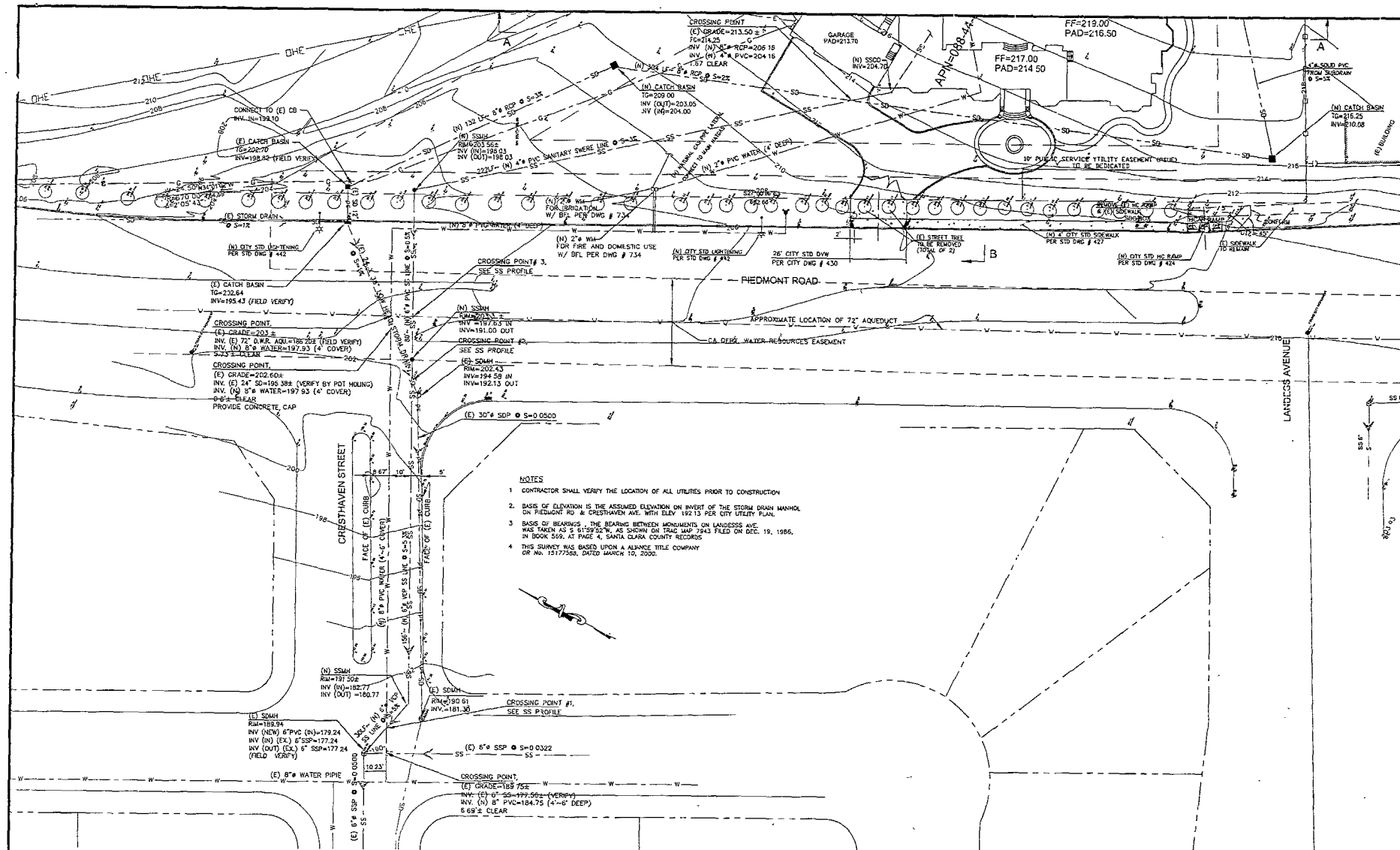


SECTION X-X



BIOSWALE DETAIL
NTS

ROCK SLOPE PROTECTION AND TEE ENERGY DISSIPATOR
NTS

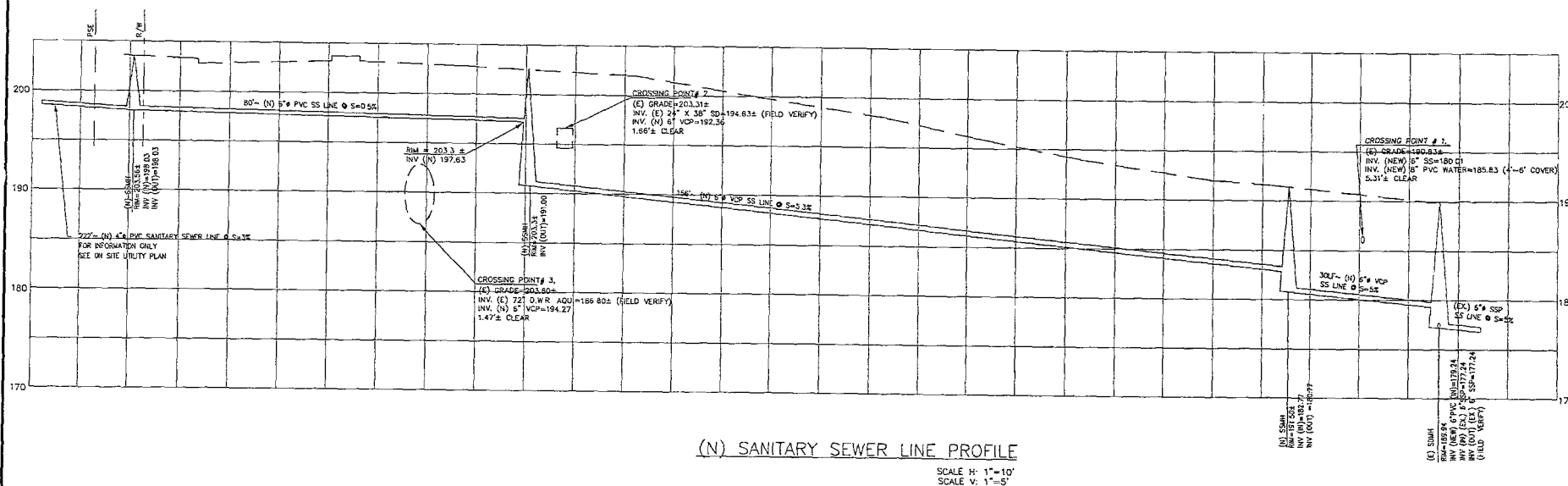


Record Drawings		Revisions					CITY OF MILPITAS ENGINEERING DIVISION	
To be completed prior to acceptance of work by the City		Num.	Date	By	Description	Cty Engr. Appr. Date	Approved:	Project No.
Signature and Seal Date							City Engineer Date Any changes to public improvements shall be approved by the City engineer	Drawing No.
P.E. No. Exp.								EP. No.
Public Works Inspector:							Recommended for approval:	Sheet ____ of ____
Public Improvements Initially Accepted by the City Council are:							Fire Dept. Date	
							Engineering Date	

OWNER:
JACK GOODMAN
8683 CRYSTAL SPRING DR
SAN JOSE, CA 95122

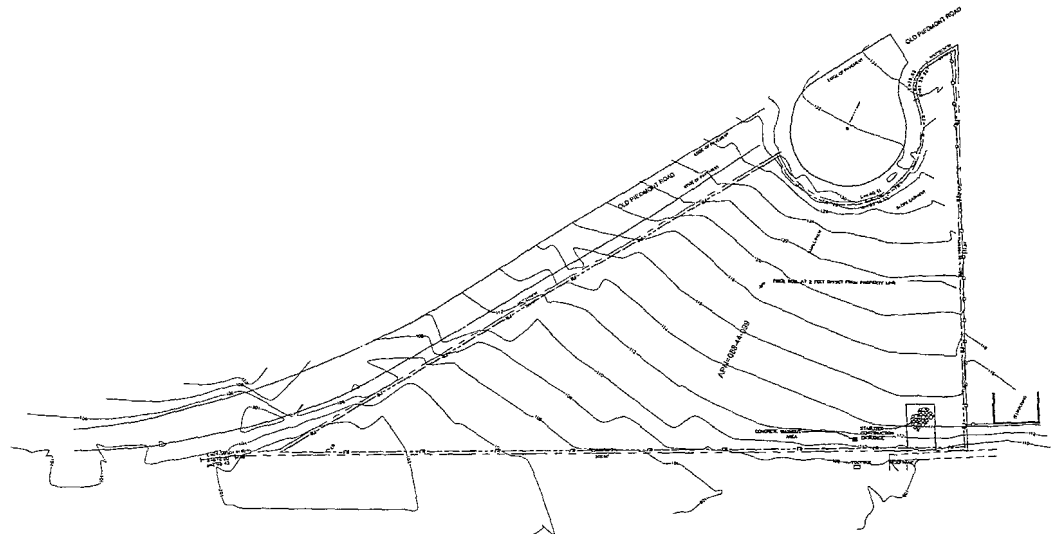
COPYRIGHT © 2005
SMP COMPANY
CIVIL ENGINEERS

PHUNG RESIDENCE
1000 PIEDMONT ROAD
MILPITAS, CA 95035
OFF-SITE SANITARY SEWER PROFILE

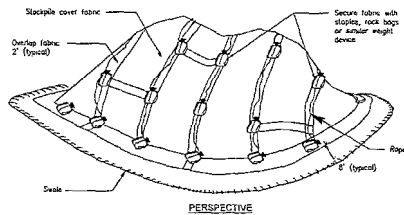


Record Drawings		Revisions					CITY OF MILPITAS ENGINEERING DIVISION	
To be completed prior to acceptance of work by the City		Num.	Date	By	Description	City Engr. Aprv.	Date	
Signature and Seal Date								Approved:
P.E. No. Exp.								Project No.
Public Works Inspector:								Drawing No.
Public Improvements Initially Accepted by the City Council on:								EP No.
								Sheet of

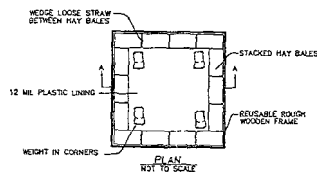
Date: FEBRUARY 20, 2006
Scale: AS NOTED
Designed by: S.R.
Drawn by: AM
Job #: 25111
Sheet:



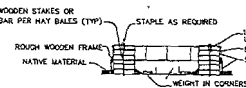
SITE PLAN
SCALE: 1"=40'



TEMPORARY COVER ON TOPSOIL STOCKPILE
N.T.S.



CONCRETE WASHOUT AREA
N.T.S.

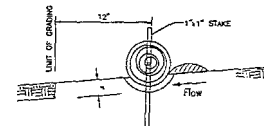


SECTION A-A
NOT TO SCALE

Maintenance

- The entrance shall be maintained in a condition that will prevent tracking or flowing sediment along public right-of-way. This may require periodic top dressing with additional stone or sandstone, removal, and repair and/or clean out any measures used to trap sediment.
- All sediment spilled, dropped, washed, or tracked onto public right-of-way shall be removed immediately.
- When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way. This shall be done at an area stabilized with crushed stone, which drains into an approved sediment trap or sediment basin.

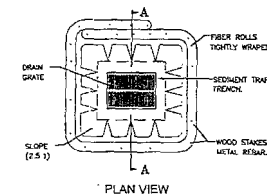
STABILIZED CONSTRUCTION ENTRANCE (TO BE MAINTAINED)



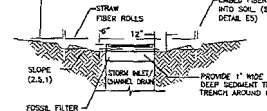
FIBER ROLL (FR)
N.T.S.

FIBER ROLL NOTES

1. Place fiber roll in any trench 3" deep and place excavated soil on upland or flow side of the roll.
2. On slopes and hillside, fiber rolls shall be situated at the toe and not overlapped. Place alternate stakes on both sides of the roll, every 6'.
3. Install fiber roll 12" from limit of grading.



PLAN VIEW



SECTION A-A

STORM INLET SEDIMENT TRAP-FIBER ROLLS

N.T.S.

EROSION AND SEDIMENT CONTROL NOTES AND MEASURES

1. The facilities shown on this plan are designed to control erosion and sediment during the rainy season, October 15 to April 15. Facilities are to be installed prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entrances.
4. Contractor shall maintain stabilized entrance of each vehicle access point to existing paved streets. Any mud or debris tracked into public streets shall be removed daily and as required by the city.
5. This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
6. This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
7. Contractor shall be responsible for maintaining erosion and sediment control prior, during, and after storm events.
8. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon any public or adjacent private property, immediately remedy shall occur.
9. Sanitary facilities shall be maintained on the site.
10. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage systems, including existing drainage swales and water courses.
11. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
12. Contractors shall provide dust control as required by the appropriate federal, state, and local agency requirements.
13. With the approval of the city inspector, erosion and sediment controls may be removed after areas above them have been stabilized.
14. The contractor shall implement year-round Best Management Practices, regarding the discharge of non-storm water runoff into the drainage system.

MAINTENANCE NOTES

- A. Maintenance is to be performed as follows:
 - i. Repair damages caused by soil erosion or construction at the end of each working day.
 - ii. Swales shall be inspected periodically and maintained as needed.
 - iii. Sediment traps, terms, and swales are to be inspected after each storm and repairs made as needed.
 - iv. Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
 - v. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
 - vi. Rills and gullies must be repaired.
2. All existing drainage inlets on Piedmont Road, around the project site shall be protected with sand bags during construction. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.

NOTES:

1. PLACE FIBER ROLLS AROUND THE INLET CONSIDERING WITH BASH SCOURING BARRIER DETAIL ON THE SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 6" DIA. AND 30' - 50' FT. LONG.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH 3" DEEP DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNHOLE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASH ADJACENT TO THE TOP OF A CONTOUR DUNE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
4. FIBER ROLLS SHALL BE INCORPORATED IN ALL CATCH BASINS AND FIELD INLETS 24" AND LARGER AND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. FIBER ROLLS ARE AVAILABLE FROM KINSTAR ENTERPRISES INC., 422 LAMARCO CENTER, SUITE 271, SANTA ROSA, CA 95403, PHONE (800) 576-8819.

OWNER:

Revised:

Revised:

Date: JANUARY 23, 2006

Scale: AS NOTED

Designed by:

S.R.

Drawn by:

AM

Job #:

25111

Sheet: